

A RENOVATION FOR THE EMBUDO COMMUNITY CENTER

216 NM-75 DIXON NM 87527

SEPTEMBER 10, 2021

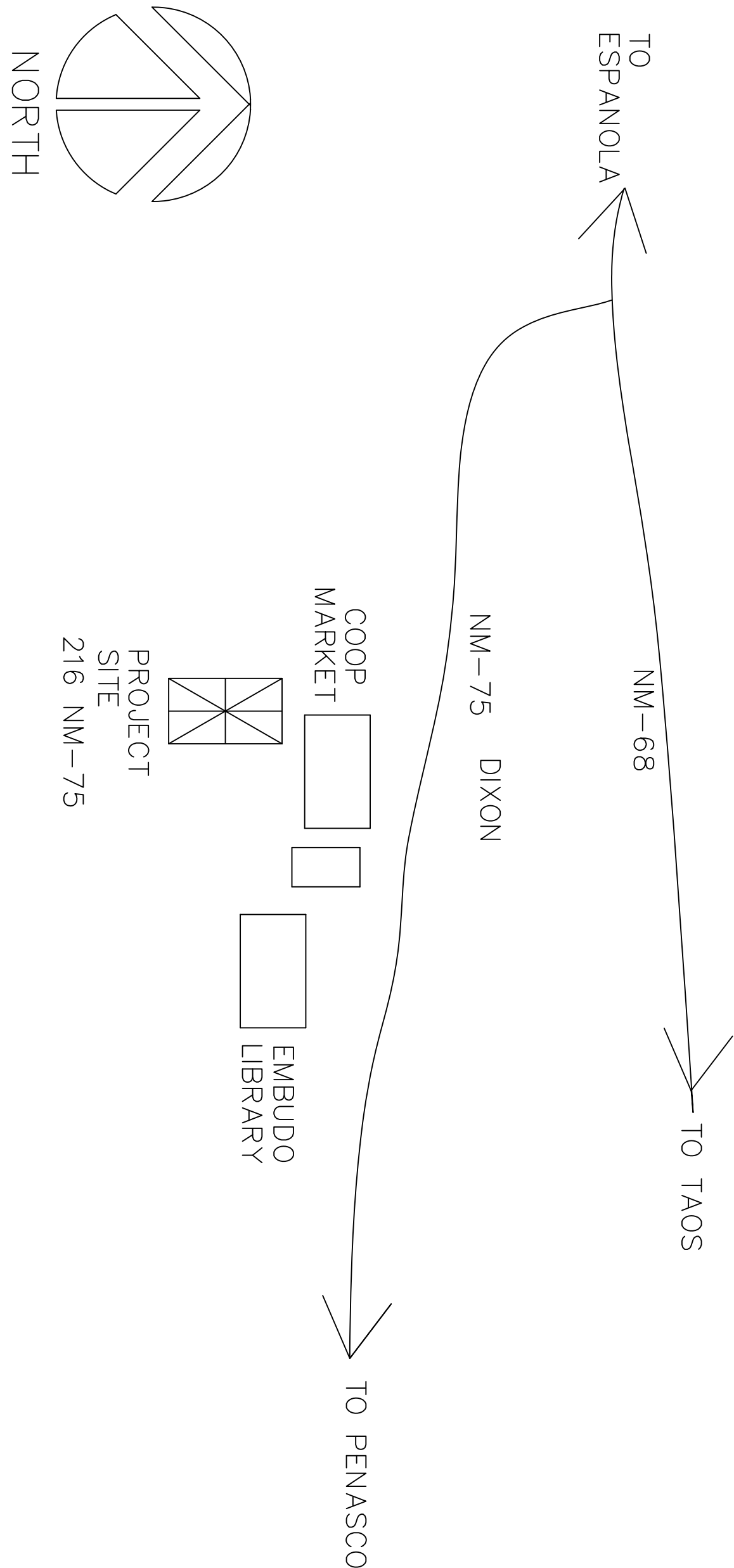
GENERAL NOTES

- PERFORM ALL WORK IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- THE SCHEDULE OF ALL CONSTRUCTION SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE ARCHITECT.
- THE JOB SITE SHALL BE KEPT IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEVICES TO ENSURE ADEQUATE PROTECTION DURING CONSTRUCTION IN ACCORDANCE WITH UBC CHAPTER 44.
- THE CONTRACTOR SHALL VERIFY ALL JOB SITE DIMENSIONS AND CONDITIONS BEFORE COMMENCEMENT OF THE WORK AND SHALL REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT FOR COORDINATION BEFORE WORK IS UNDERTAKEN.
- THE DATA PROVIDED ON THESE PLANS ARE AS EXACT AS COULD BE SECURED, BUT ACCURACY CANNOT BE GUARANTEED. THESE DRAWINGS ARE FOR THE CONTRACTOR'S ASSISTANCE AND GUIDANCE FOR LOCATIONS, DISTANCES, LEVELS, ETC. GOVERNED BY THE BUILDING. ALL EXISTING CONDITIONS, UTILITIES, ETC. SHALL BE FIELD VERIFIED. SEE NOTE 5, ABOVE.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING BUILDING AND SITE. IN CASE OF DISCREPANCIES BETWEEN THE COORDINATED DOCUMENTS AND THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERING AND CORRECTING ANY DISCREPANCIES AND PRIOR TO RECENT OF WRITTEN APPROVAL FOR CORRECTION. SHALL BE AT THE CONTRACTOR'S RISK. NO ADDITIONAL COST WILL BE ADDED TO THE PROJECT DUE TO THE CONTRACTOR'S OVERSIGHT IN VERIFICATION OF EXISTING CONDITIONS.
- CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON SIMILAR CONDITIONS AND INTERIOR FINISHES. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- ALL REFUSE AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE DIRECTION OF THE ARCHITECT AND SHALL BE PROPERLY DISPOSED OF OFF PROPERTY. ALL COSTS ASSOCIATED WITH THE REFUSE AND DEBRIS DISPOSAL SHALL BE INCLUDED IN THE BID AND CONTRACT PRICE.
- WORK FOR THIS PROJECT SHALL BE CARRIED OUT IN ACCORDANCE WITH STATE AND LOCAL CODES AND REQUIREMENTS OF ANY OTHER AGENCY HAVING JURISDICTION. IN ALL CASES, THE MOST RESTRICTIVE REQUIREMENTS SHALL APPLY.
- WHERE EXISTING CONSTRUCTION NOT PART OF THIS CONTRACT IS DISTURBED DURING THE EXECUTION OF THE WORK, PATCH, REPAIR AND REFINISH TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT AND SUBJECT TO INSPECTION BY BUILDING INSPECTOR
- DIMENSIONS HAVE PREFERENCE OVER SCALE.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- WHERE CONFLICTS OCCUR BETWEEN CONTRACT DRAWINGS, SPECIFICATIONS AND THE BUILDING CODE, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF THE DRAWINGS SHALL BE REFERRED BY THE CONTRACTOR TO THE ARCHITECT FOR CLARIFICATION.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE WITH OTHER TRADES IN THE INTEREST OF OBTAINING THE MOST PRACTICAL ARRANGEMENT OF EQUIPMENT, PIPING, CONDUITS, DUCTWORK, LIGHT FIXTURES, ETC.
- ALL CONSTRUCTION SHALL COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION'S "GENERAL INDUSTRY STANDARDS".
- ALL BUILDING PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE BUILDING PERMIT IS TO BE SECURED FROM CID ELECTRICAL, MECHANICAL AND PLUMBING FROM NM/CID.
- CONTENTS OF THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO INCLUDE ALL REQUIREMENTS FOR A COMPLETE PROJECT.

CODE NOTES

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE 2015 UBC PROVISIONS WITH RESPECT TO GAPPORT; B OCCUPANCY (type of construction and all chapters, sections and tables related to B construction, materials and methods) American National Standards – ICC / ANSI A117.1
LOCAL Zoning Ordinance

VICINITY MAP



OWNER: EMBUDO VALLEY LIBRARY
PO BOX 310
DIXON, NEW MEXICO 87527
OWNER'S REPRESENTATIVE:

ARCHITECT – Thomas E. Cordova
TECA ARCHITECTS
600 E FARVIEW LANE
ESPANOLA, NEW MEXICO
87532
(505) 927-5059
ELECTRICAL – RAFAEL DE LA TORRE
TOWER ENGINEERING
P.O. BOX 2852
ESPANOLA, NEW MEXICO
87532
(505) 929-4839

BUILDING CODE INFORMATION

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE PROVISIONS IN THE FOLLOWING CODES AND REGULATIONS:
NMAC (NEW MEXICO ADMINISTRATIVE CODE) 2015 NM PLUMBING & MECHANICAL CODE
2015 N. M. COMMERCIAL BUILDING CODE 2009 UNIFORM MECHANICAL CODE (IAPMO)
2015 N. M. COMMERCIAL BUILDING CODE 2012 NATIONAL PLUMBING CODE
2009 ANSI AMERICAN NATIONAL STANDARDS (ADA) 2017 NATIONAL ELECTRICAL CODE
2015 NEW MEXICO ENERGY CODE 2012 NATIONAL ELECTRICAL CODE
2015 NEW MEXICO ENERGY CODE 2012 NATIONAL ELECTRICAL CODE
2015 EXISTING BUILDING CODE LOCAL ZONING REGULATIONS

PROJECT DESCRIPTION: REPURPOSE AN EXISTING 'U'-STORAGE-OCCUPANCY BUILDING TO A 'B' COMMUNITY CENTER TO INCLUDE ADA RESTROOMS, INTERIOR WALLS, ADA PARKING & ELECT. REVISIONS
BUILDING HEIGHT & NUMBER OF STORES: UNDER 32 FT. IN 1 STORY
OCCUPANCY GROUP: GROUP "B", PER SECTION 302.1.2

OCCUPANCY LOAD:	PER TABLE 1004.1.2	NET AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
(B) MULTI-PURPOSE SPACE AND USE	750	.	16	47
(B) RESTROOMS, TARE	390	0	0	0
(B) UNFINISHED STORAGE	127	.	0	0
	1,267		TOTAL LOAD FACTOR	47

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
GROUP "B" OCCUPANCY OF 47 EQUALS 23 MALES AND 24 FEMALES

WATER CLOSETS:	REQUIRED	PROVIDED
LAVATORIES:	1	1 (1 FUTURE ADA)
DRINKING FOUNTAIN:	1	1 (1 FUTURE ADA)
SERVICE SINK: 1	1	1 (PORTABLE WATER DISPENSER)

TYPE OF CONSTRUCTION: V NO OCCUPANCY SEPARATION REQUIRED
EGRESS REQUIREMENTS: 2 EXITS REQUIRED FOR OCCUPANCY OVER 49
ONE EXIT REQUIRED – 2 EXITS ARE PROVIDED MAXIMUM TRAVEL DISTANCE < 49'
FIRE RESISTANCE OF EXTERIOR WALLS – 1 HOUR LESS THAN 20 FEET – A 2 HR RATED WALL IS PROVIDED TO SEPARATE ADJACENT UN-FINISHED STORAGE
OPENINGS IN EXTERIOR WALLS – NOT PERMITTED LESS THAN 5 FEET – NONE PROVIDED
SPRINKLERS NOT REQUIRED
SEISMIC ZONE 2B

LIST OF DRAWINGS

- GC01 PROJECT COVER SHEET
CODE INFORMATION NOTES
- ARCHITECTURAL CIVIL DRAWINGS
- AC-1 SITE PLAN INFORMATION
PARKING LAYOUT NOTES
- D-1 DEMO FLOOR PLAN
NOTES
- AR-1 RENO FLOOR PLAN
NOTES
- AR-2 EXT ELEVS FLOOR, ROOF FRMG
- AR-3 STAGE & SHIPPING CONTAINERS
- P-1. PLUMBING PLANS
- E-1. ELECTRICAL POWER /
LIGHTING

TECA ARCHITECTS
P.O. BOX 1381 ESPANOLA, N.M. 87532
PH 505-927-5059

A RENOVATION FOR
EMBUDO VALLEY COMMUNITY CENTER
DIXON, New Mexico

DATE: 9/10/2021
DR. BY: J.C.
CH. BY: T.C.

TITLE:
COVER
SHEET

JOB # 2021-4
CAD DWG:

SHEET NO:

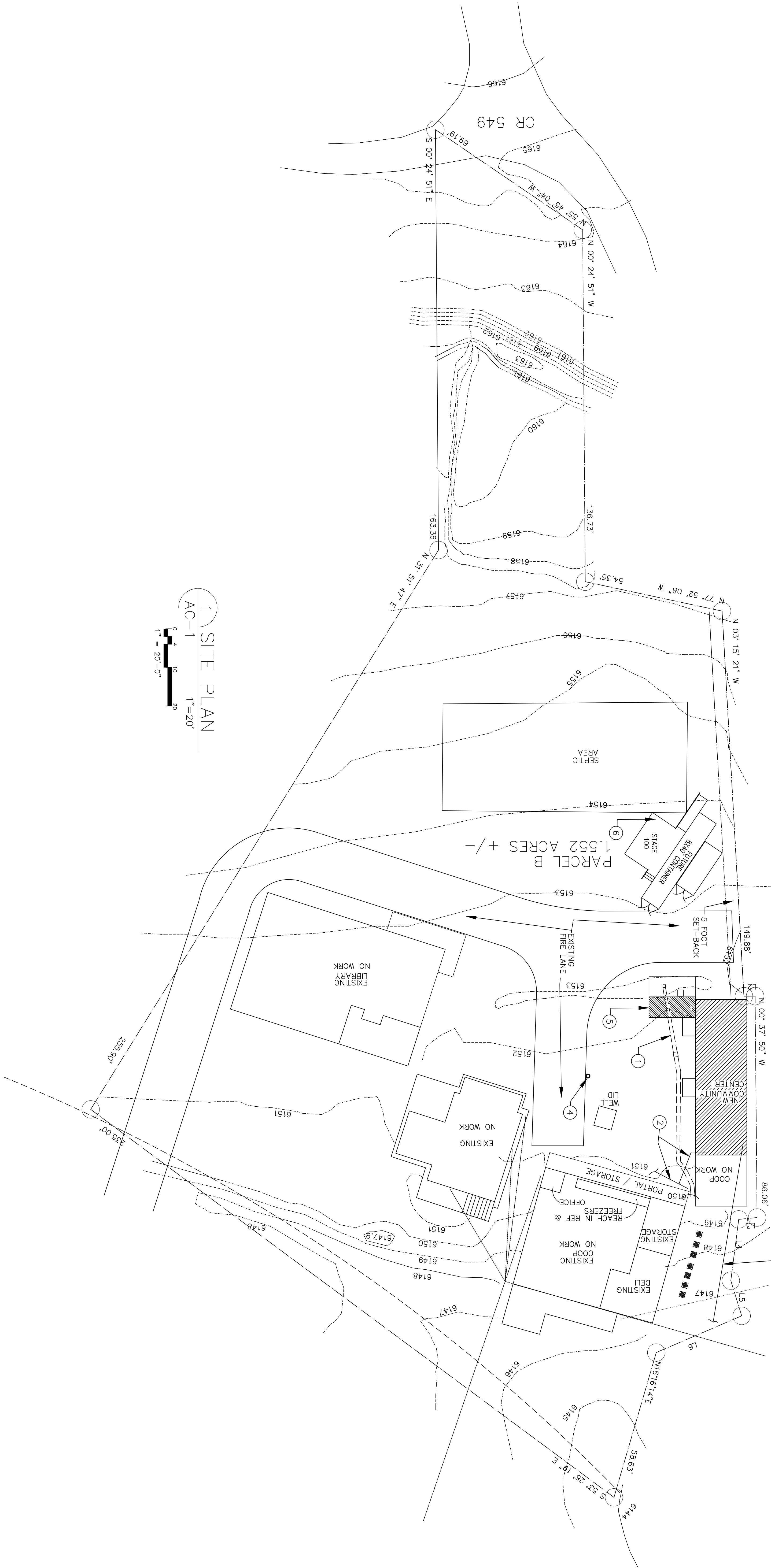
GC-1

SITE WORK KEY NOTES

- ① PROVIDE AND INSTALL A NEW FRENCH DRAIN, 4" DIAMETER PERFORATED LINE SPURRING 8" 12" DEEP TO 3' RIVER ROCK AND ENCASED IN 12" CONCRETE. BURY A MIN. 24" IN. O.C. PROVIDE TWO 12" SQUARE PEDESTAL GRADE PROP INLETS.
- ② LOCATE EXISTING SEWER LINE, ROUTE NEW SEWER PIPING TO EXISTING SANITARY MANHOLE. LOCATE AND ROUTE NEW SEWER PIPING AT 1/4" IN. PER FOOT AND CONTRAIL ALL INVERTS PRIOR TO ORDERING MATERIALS. TYPICAL FOR ALL SEWER PIPING.
- ③ NEW 3/4" PEG DOMESTIC WATER LINE. LOCATE INSULATED LINE 12" ABOVE FLOOR WITHIN COOP STORAGE, THEN BURY TO A MINIMUM OF 36" BELOW GRADE. EXTEND 75' FROM JANITOR'S CLOSET TO P.O.C. AT STREET. PROVIDE A 1/2" METER AND DOUBLE CHECK VALVE. 36" BELOW GRADE. EXTEND 75' FROM JANITOR'S CLOSET TO P.O.C. COORDINATE WITH UTILITY COMPANY FOR ALL REQUIREMENTS TO CONNECT TO THEIR SYSTEM.
- ④ NEW ELECTRIC UTILITY POLE, LOCATE OUTSIDE OF FIRE LANE. SEE SHEET E-1 FOR ADDITIONAL INFORMATION.
- ⑤ PROVIDE AND INSTALL NEW 4" CONC. SLAB W/ #4 REBAR AT 12" O.C. EA. WAY. SEE H/C DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
- ⑥ STAGE AND STORAGE UNITS SEE SHEET AR-3.

LINE	BEARING	DISTANCE
L2	S 89° 28' 12" W	4.33'
L3	N 84° 17' 42" E	7.17'
L4	N 07° 21' 34" E	23.99'
L5	N 17° 09' 46" W	14.33'
L6	N 66° 46' 14" E	36.11'

1 SITE PLAN
AC-1 1"=20'
0 4 10 20
1" = 20'-0"



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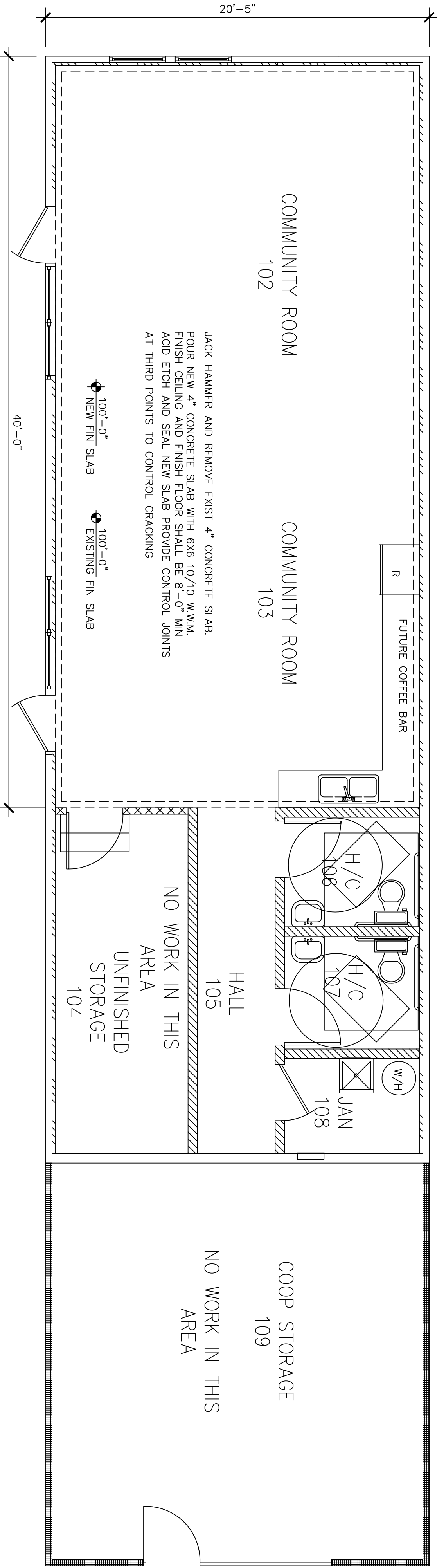
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SITE
PLAN

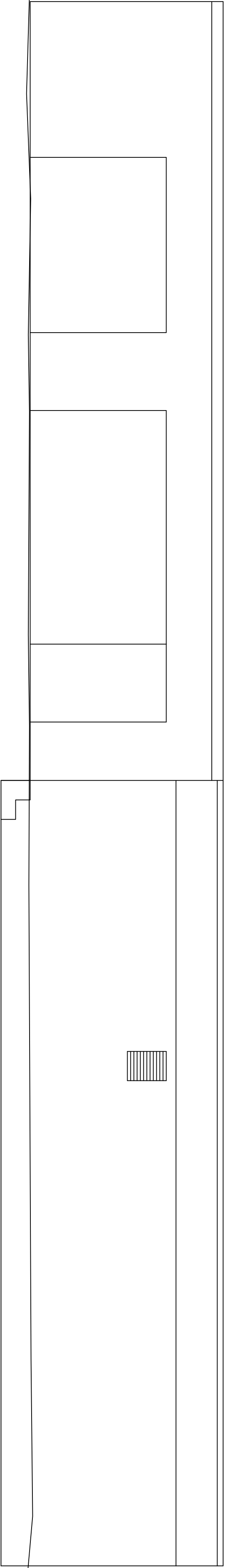
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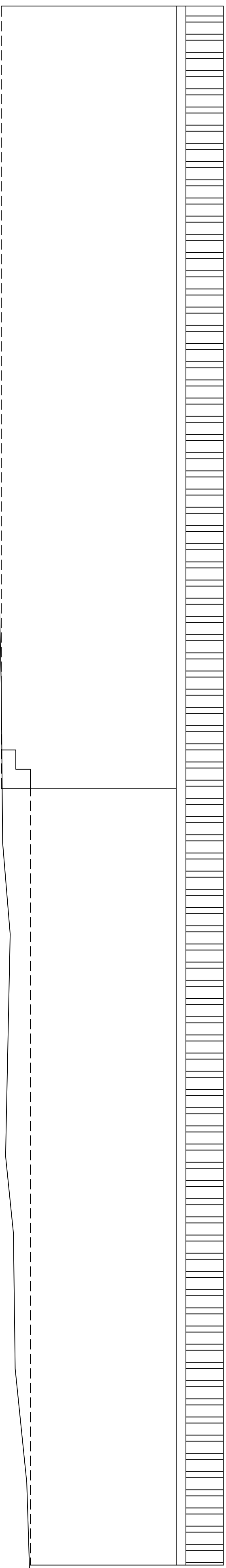
AC-1



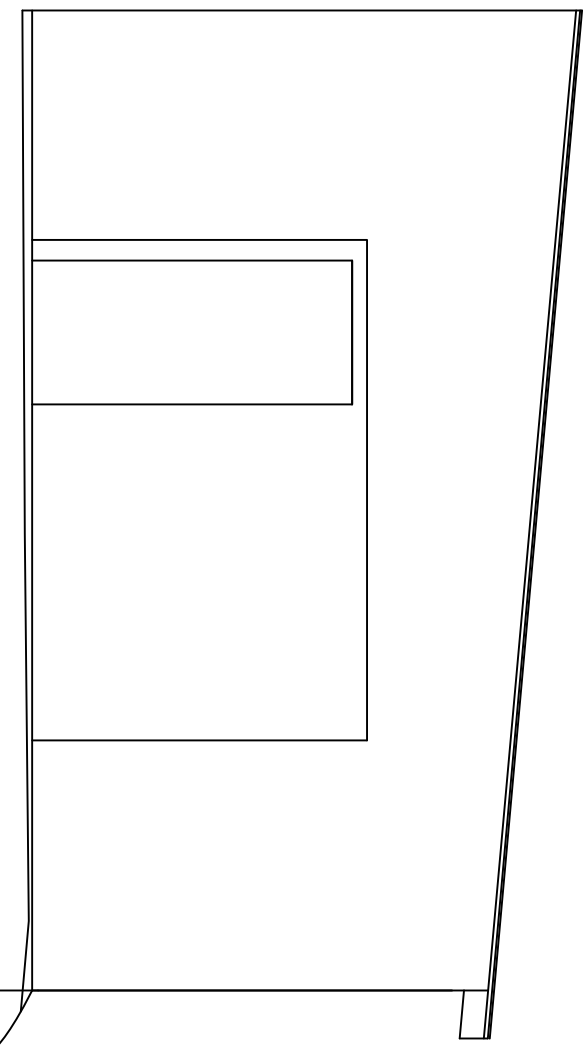
1 FLOOR PLAN
D-1 1/4"=1'-0"



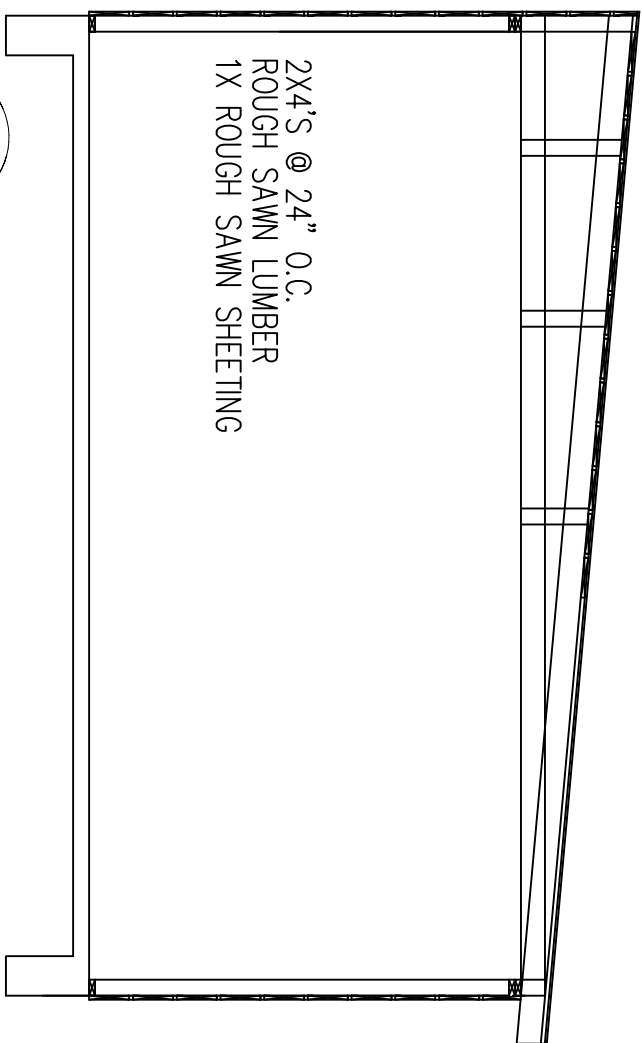
2 EAST ELEVATION
D-1 1/4"=1'-0"



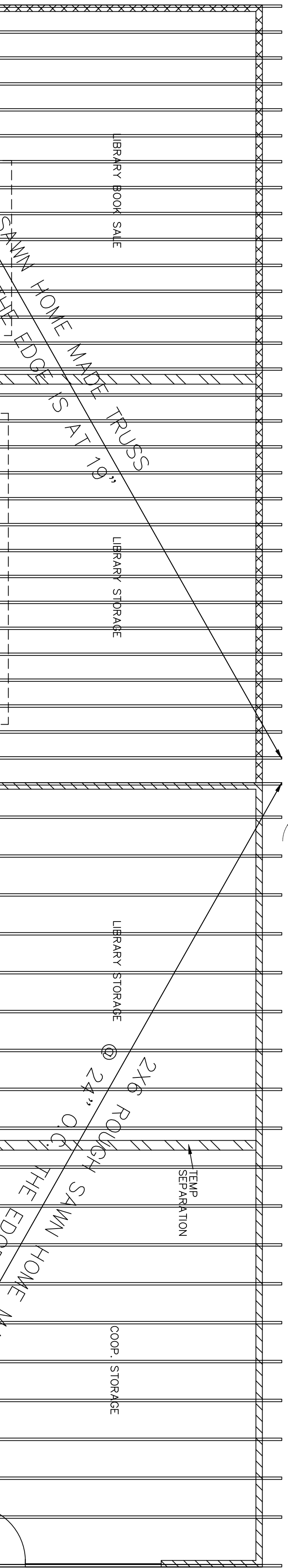
5 WEST ELEVATION
D-1 1/4"=1'-0"



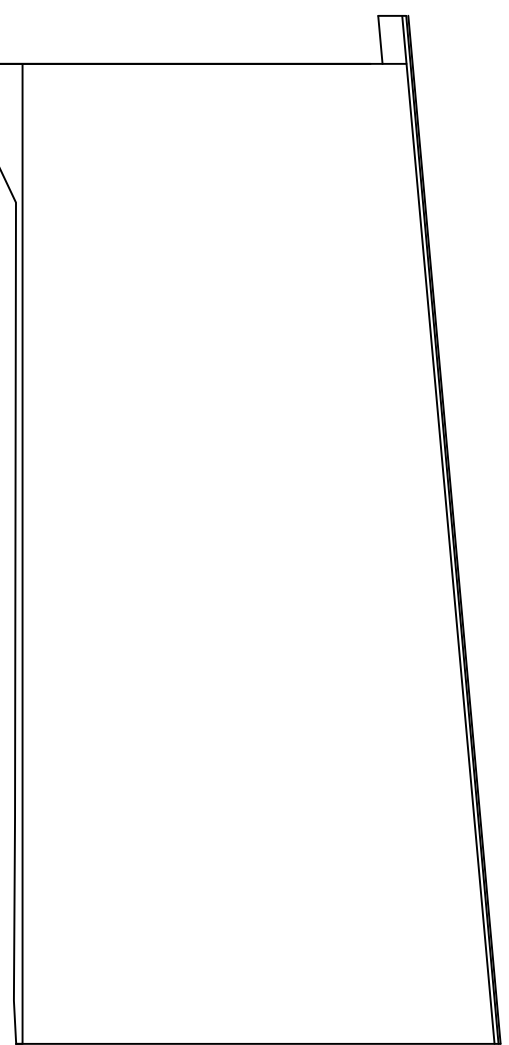
4 NORTH ELEVATION
D-1 1/4"=1'-0"



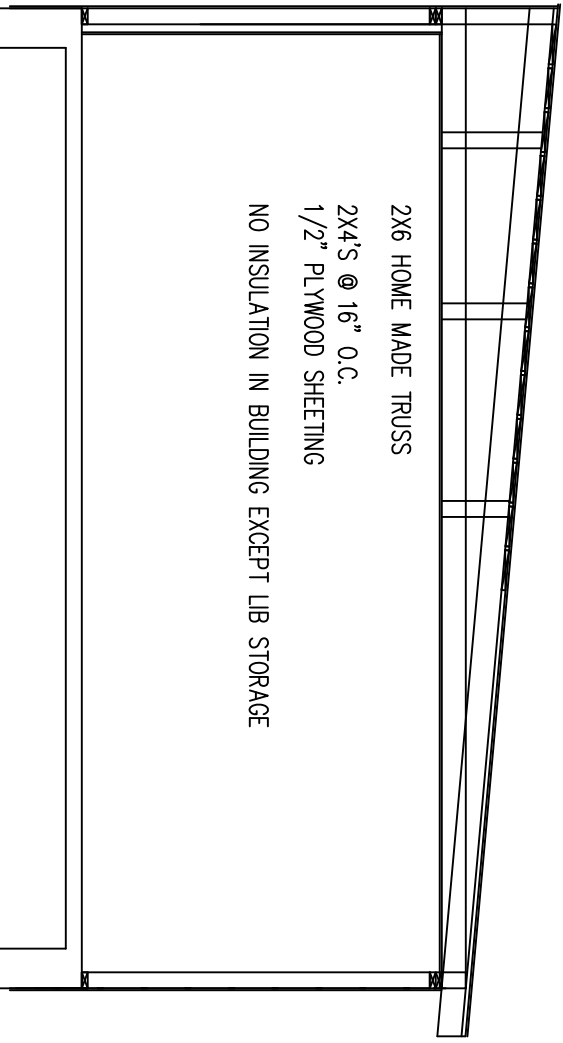
3 COOP STOR SECTION
D-1 1/4"=1'-0"



8 ROOF FRAMING PLAN
D-1 1/4"=1'-0"



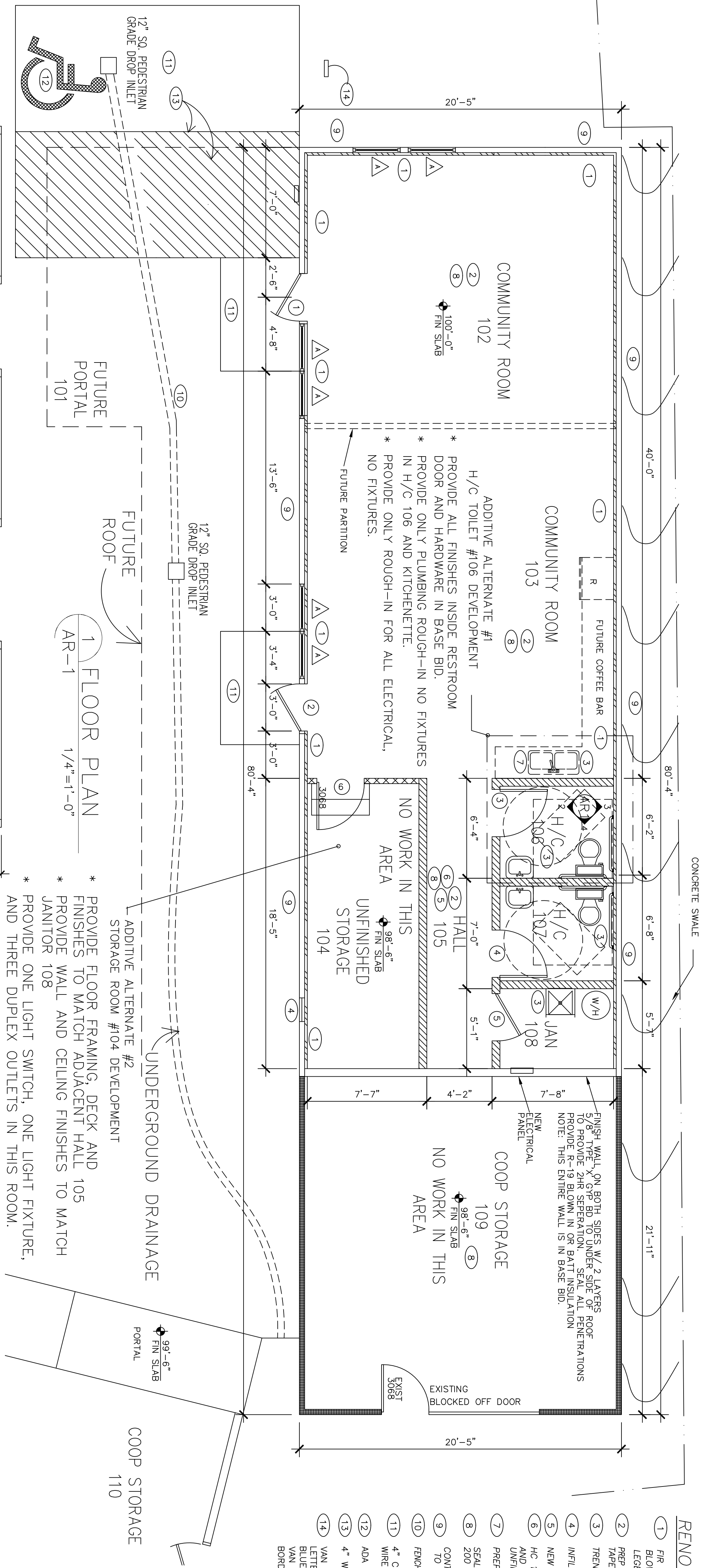
7 SOUTH ELEVATION
D-1 1/4"=1'-0"



6 LIB BOOK SECTION
D-1 1/4"=1'-0"

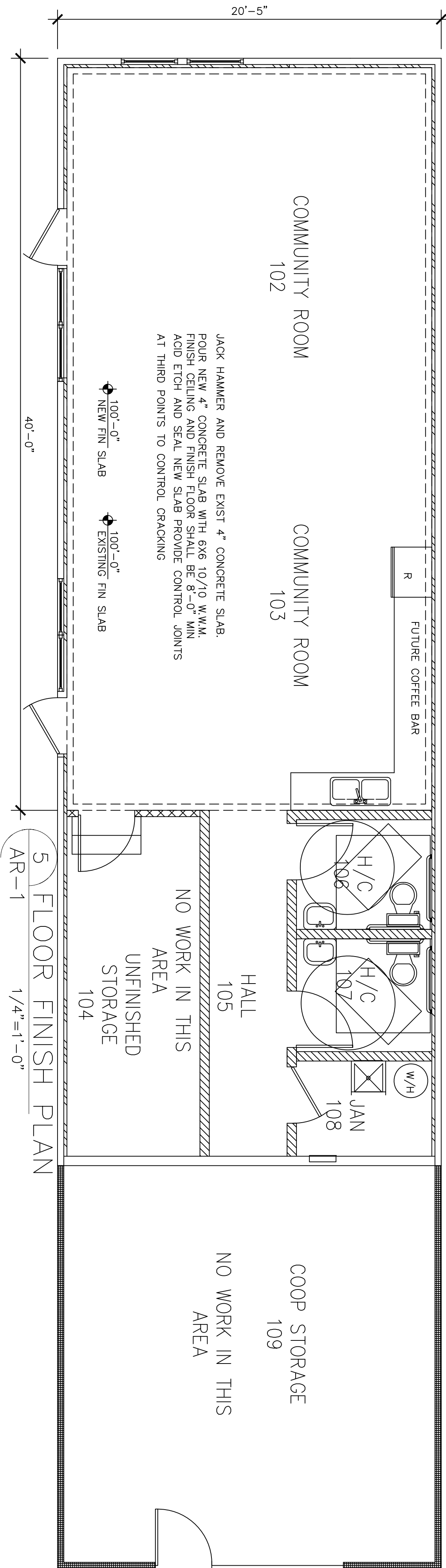
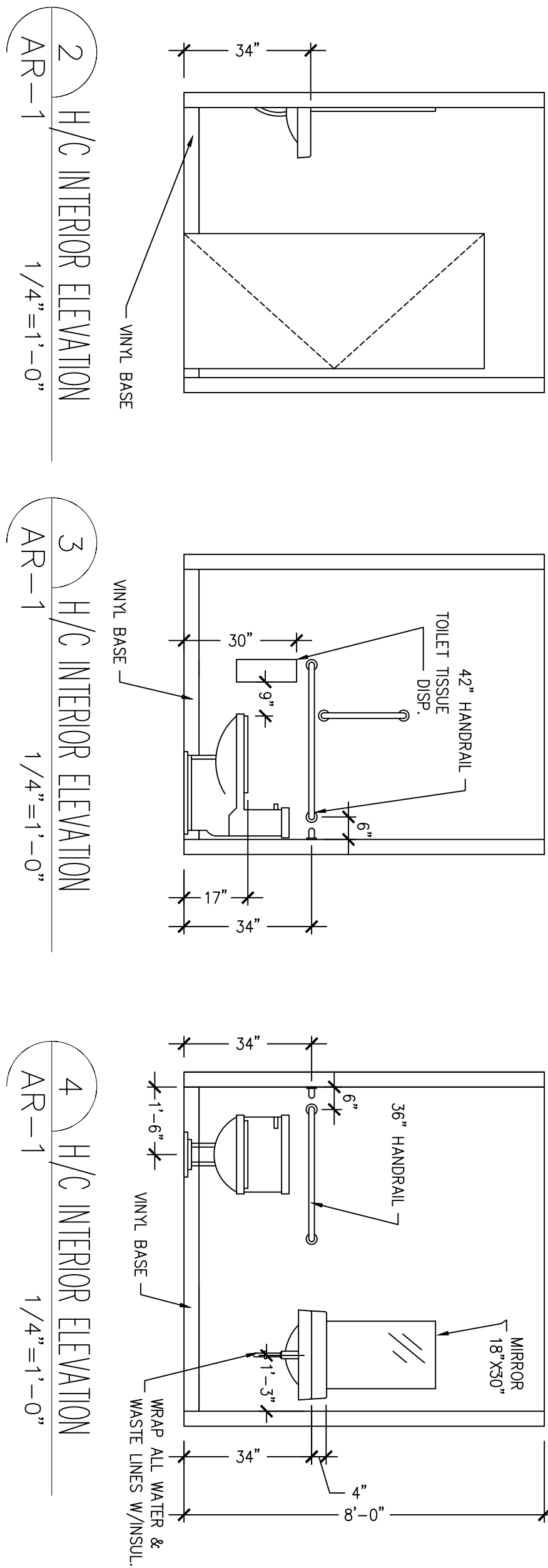
RENOVATION NOTES

- (1) PR OUT A 2" STRIP TO ALL EXTERIOR WALLS. AFTER ELECTRICAL PREP, PROVIDE R19 BLOWN IN INSULATION WITH 1/2" GYP. BD. TAPE, TEXTURE AND PAINT. SEE WALL LEGEND FOR EXACT AREAS.
 - (2) PREP POSTING GEAK FOR NEW R-32 BATT OR BLOWN INSULATION AND 1/2" GYP. BD. CEILING COVER TAPE, TEXTURE AND PAINT.
 - (3) TRENCH FLOOR FOR NEW PLUMBING TO EXTERIOR AND TIE IN TO EXISTING SYSTEMS.
 - (4) INFILL VENT AND MATCH FINISHES
 - (5) NEW WOOD FRAMED SUB FLOOR SYSTEM SEE FLOOR FRAMING
 - (6) HC 106, 107, AND JAN 108 TO BE COMPLETELY FINISHED. EXTERIOR WALL OF STORAGE 104 AND HALL 105 TO BE FINISHED AS WELL. INTERIOR FLOOR AND WALLS OF 104 TO REMAIN UNFINISHED.
 - (7) PREP PLUMBING ROUGH-IN FOR FUTURE COFFEE BAR SINK.
 - (8) SEAL ALL EXISTING ROOFING PANELS ON EXISTING CORR. ROOFING. CONTRACTOR TO PROVIDE 200 SF OF NEW PANELS FOR ROTTED OR DETRIMENTED MATERIAL. ROOFING AS AN ADD. ALI.
 - (9) CONTRACTOR TO PATCH ALL EXTERIOR STUCCO SYSTEM TO ASSURE NO INFILTRATION OF WATER TO NEW RENOVATED AREA.
 - (10) FENCH DRAIN SEE SITE PLAN
 - (11) 4" CONC. SLAB, ADA PARKING SPACE AND ISLE:: 6" CONCRETE SLAB W/ 6X6 10/10 WELDED WIRE MESH REINFORCEMENT.
 - (12) ADA ACCESSIBLE PAVEMENT MARKING IN EACH SPACE
 - (13) 4" WIDE - BLUE PAINT - BORDER WITH DIAGONAL STRIPES AT 12" O.C. IN THE FIELD.
- VAN ACCESSIBLE HANDCAP PARKING. SIGN TYPE RT-8 (12"x18") SIGN FIELD IS WHITE. SIGN



1 FLOOR PLAN

- * PROVIDE FLOOR FRAMING, DECK AND FINISHES TO MATCH ADJACENT HALL 105
- * PROVIDE WALL AND CEILING FINISHES TO MATCH JANITOR 108
- * PROVIDE ONE LIGHT SWITCH, ONE LIGHT FIXTURE, AND THREE DUPLEX OUTLETS IN THIS ROOM.



-	SIZE	TYPE	MAT.	FRAME			REMARKS	CAT. NO.
				HW	HD.	SILL		
1	3'-0"W x 6'-8"H	A	WD-SC				METAL EXTERIOR - PANG HARDWARE	
2	3'-0"W x 6'-8"H	A	WD-SC				METAL EXTERIOR - PANG HARDWARE	
3	3'-0"W x 6'-8"H	B	WD-SC				STAIN COLOR AS CHOSEN	
4	3'-0"W x 6'-8"H	B	WD-SC				STAIN COLOR AS CHOSEN	
5	3'-0"W x 6'-8"H	B	WD-SC				STAIN COLOR AS CHOSEN	
6	3'-0"W x 6'-8"H	B	WD-SC				STAIN COLOR AS CHOSEN	

WINDOW SCHEDULE							
A	SIZE	TYPE	FRAME			REMARKS	CAT. NO.
			HW	HD.	JAMB SILL MAT.		
2'-8 1/4" x 5'-0 7/8"	A	WNTL	WNTL			WNTL DBL HUNG WWS	

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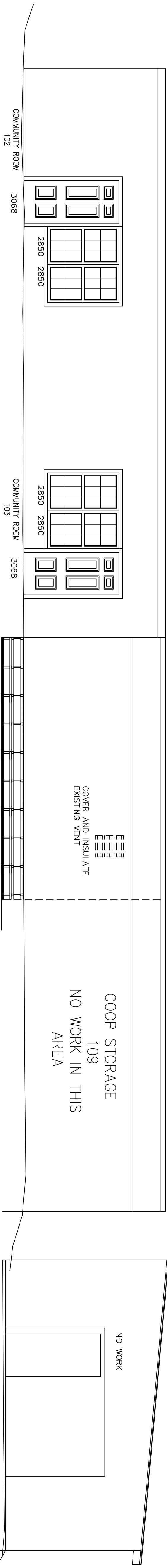
RENOVATION FLOOR PLAN

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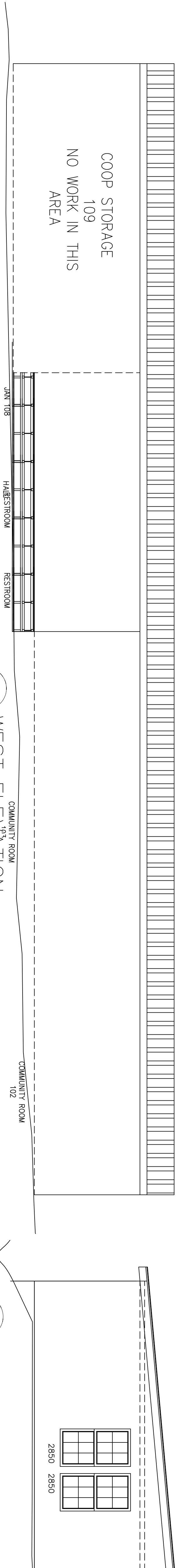
AR-1

A RENOVATION FOR
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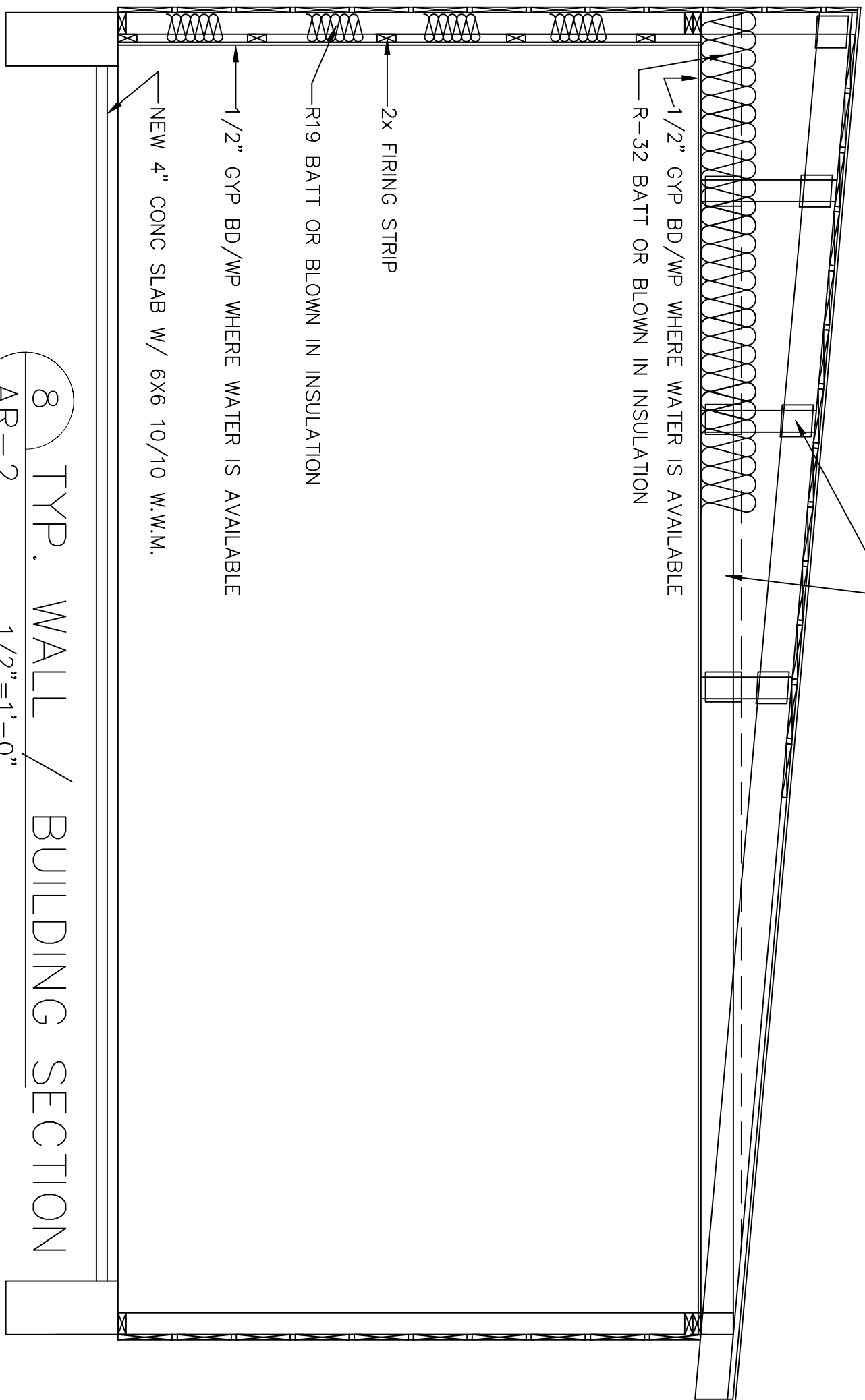
2 EAST ELEVATION
AR-2 1/4"=1'-0"

1 NORTH ELEVATION
AR-2 1/4"=1'-0"

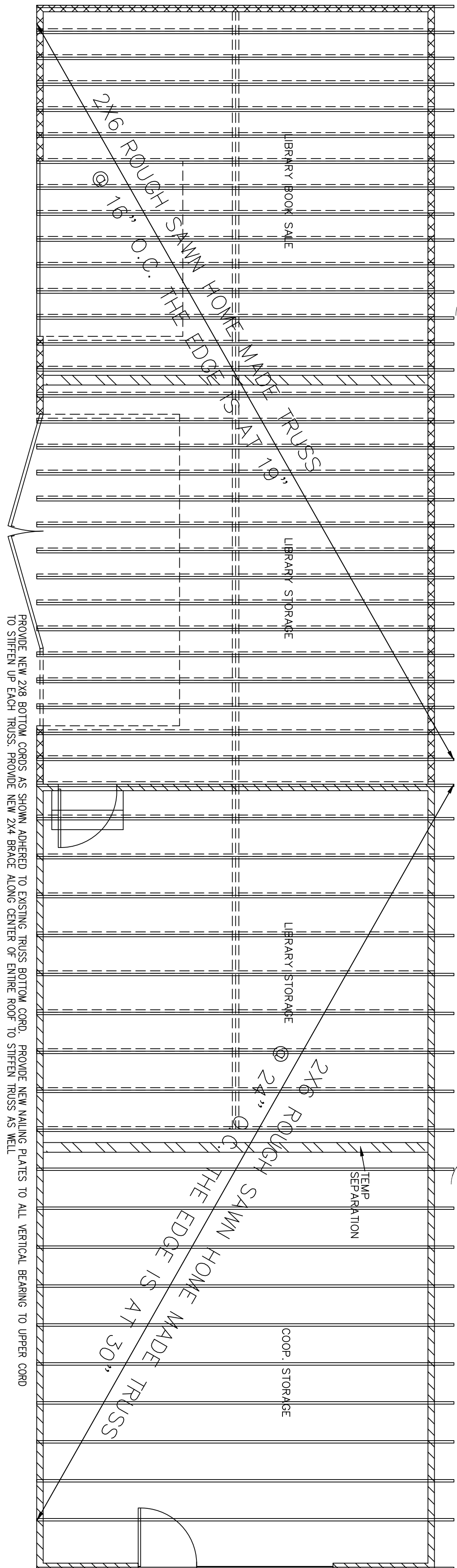


4 WEST ELEVATION
AR-2 1/4"=1'-0"

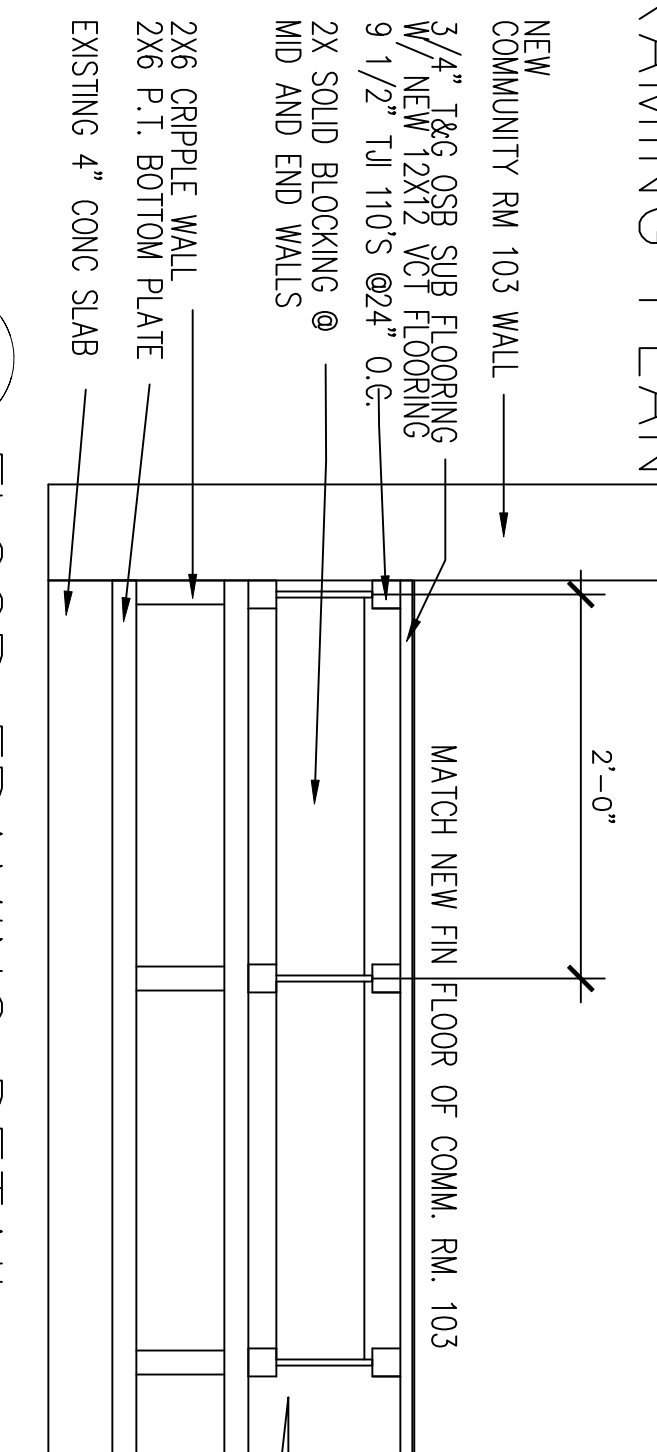
3 SOUTH ELEVATION
AR-2 1/4"=1'-0"



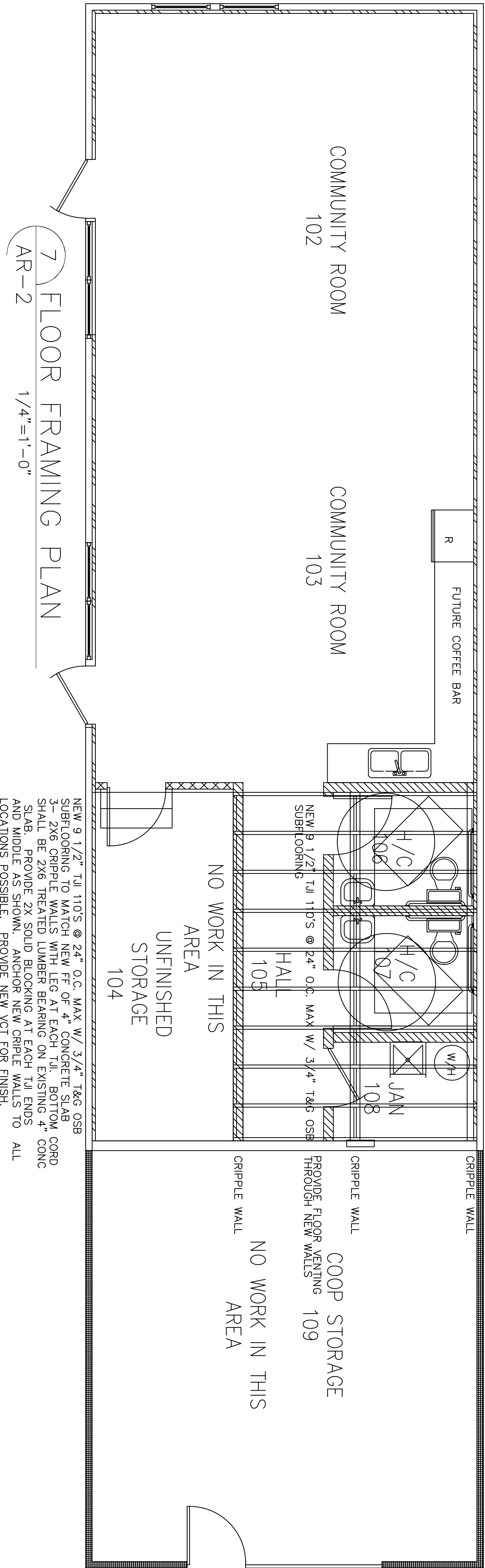
8 TYP. WALL / BUILDING SECTION
AR-2 1/2"=1'-0"



5 REN ROOF FRAMING PLAN
AR-2 1/4"=1'-0"



6 FLOOR FRAMING DETAIL
AR-2 1"=1'-0"



7 FLOOR FRAMING PLAN
AR-2 1/4"=1'-0"

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RENOVATION
EXT. ELEVS
ROOF
PLAN

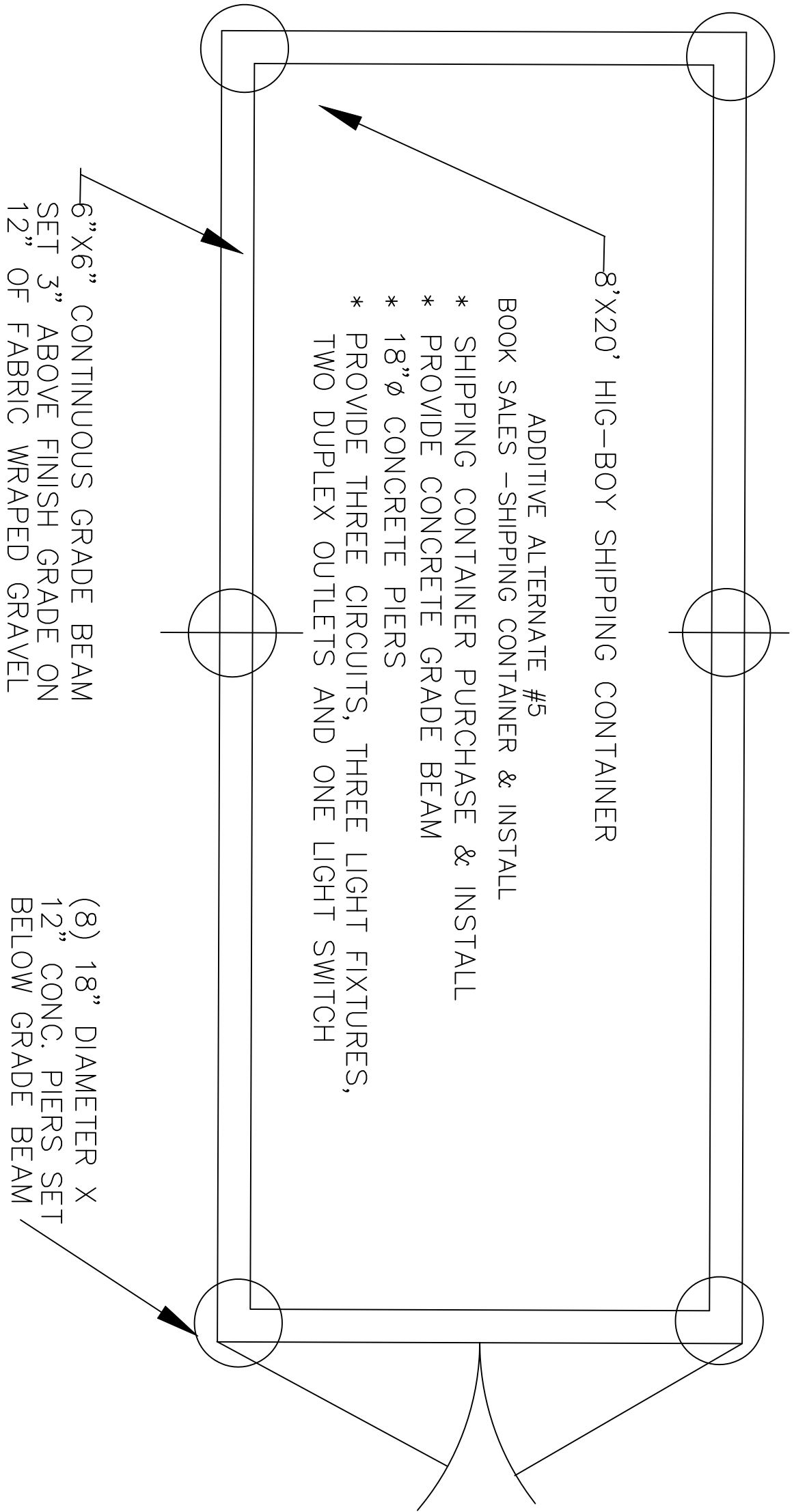
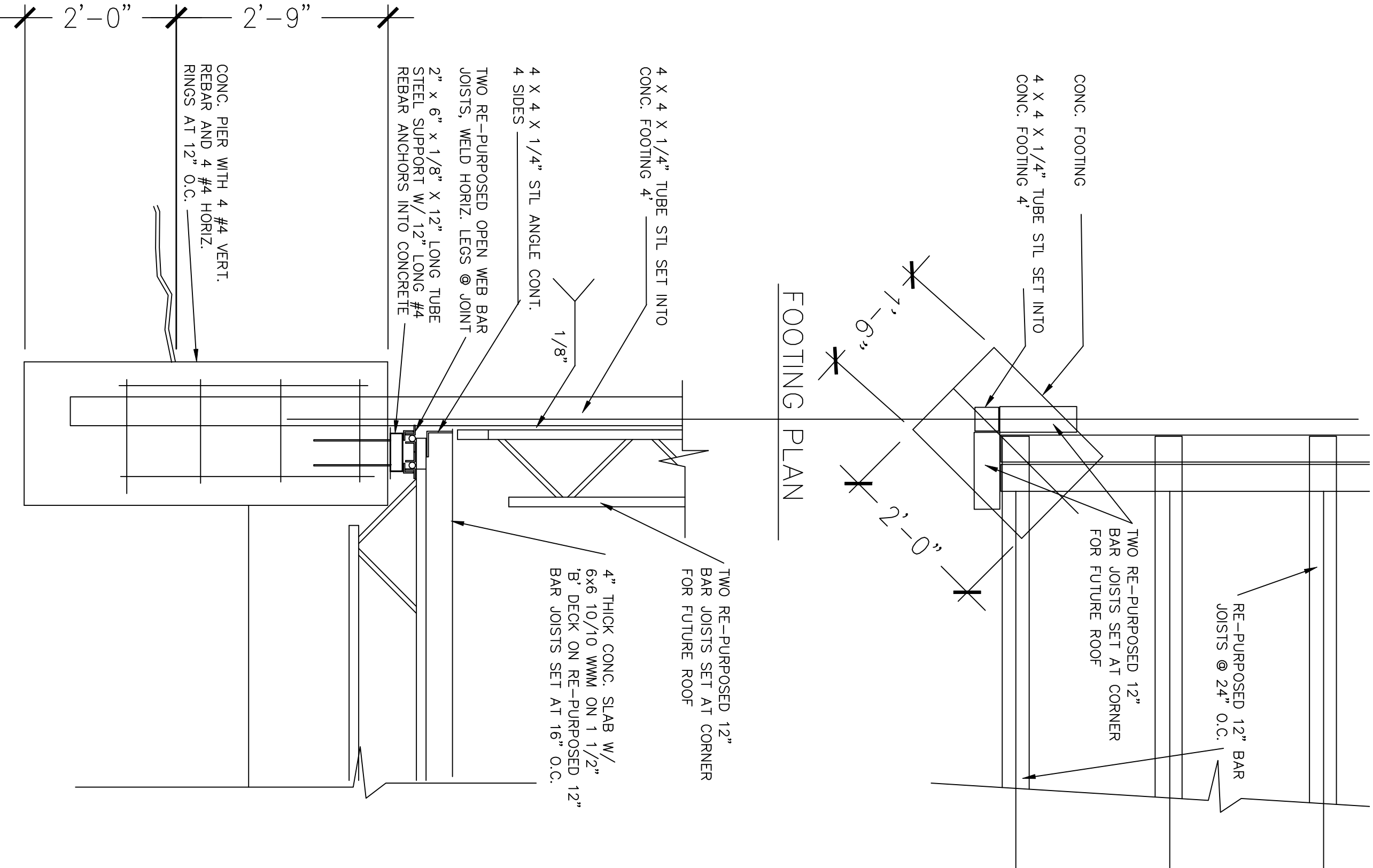
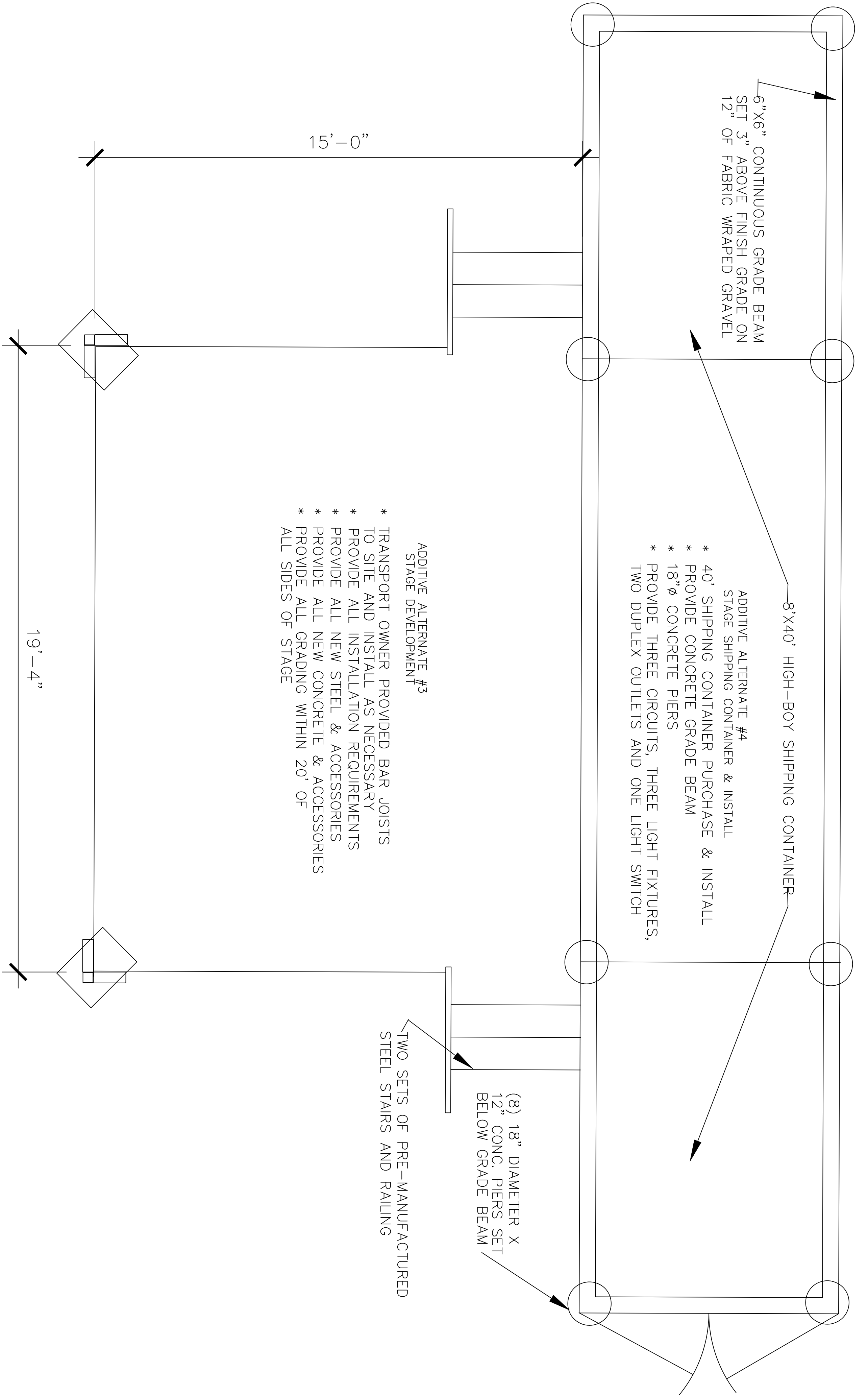
JOB # 2021-4
CAD DWG:

SHEET NO:

AR-2

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ROUTE VENT PIPING UP THRU ROOF IN THIS LOCATION. OFFSET VENT
PIPING TO AVOID OBSTACLES AS NECESSARY. SEAL ALL ROOF
PENETRATIONS WEATHER-TIGHT.
PROVIDE AND INSTALL WALL CLEANOUT IN THIS LOCATION.

P.O.

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ROUTE MAIN INSULATED WATER PIPING INTO JANITORS CLOSET ROOM 107 AND CONNECT TO PRESSURE REDUCING VALVE (PRV) & BACKFLOW PREVENTER (BFP) PRIOR TO CONNECTING TO ANY PLUMBING FIXTURES. ROUTE BFP DOWN TO MAIN'S SIGN WITH AIR GAP IN COMPLIANCE WITH CURRENT CODE REQUIREMENTS.

NOT USED

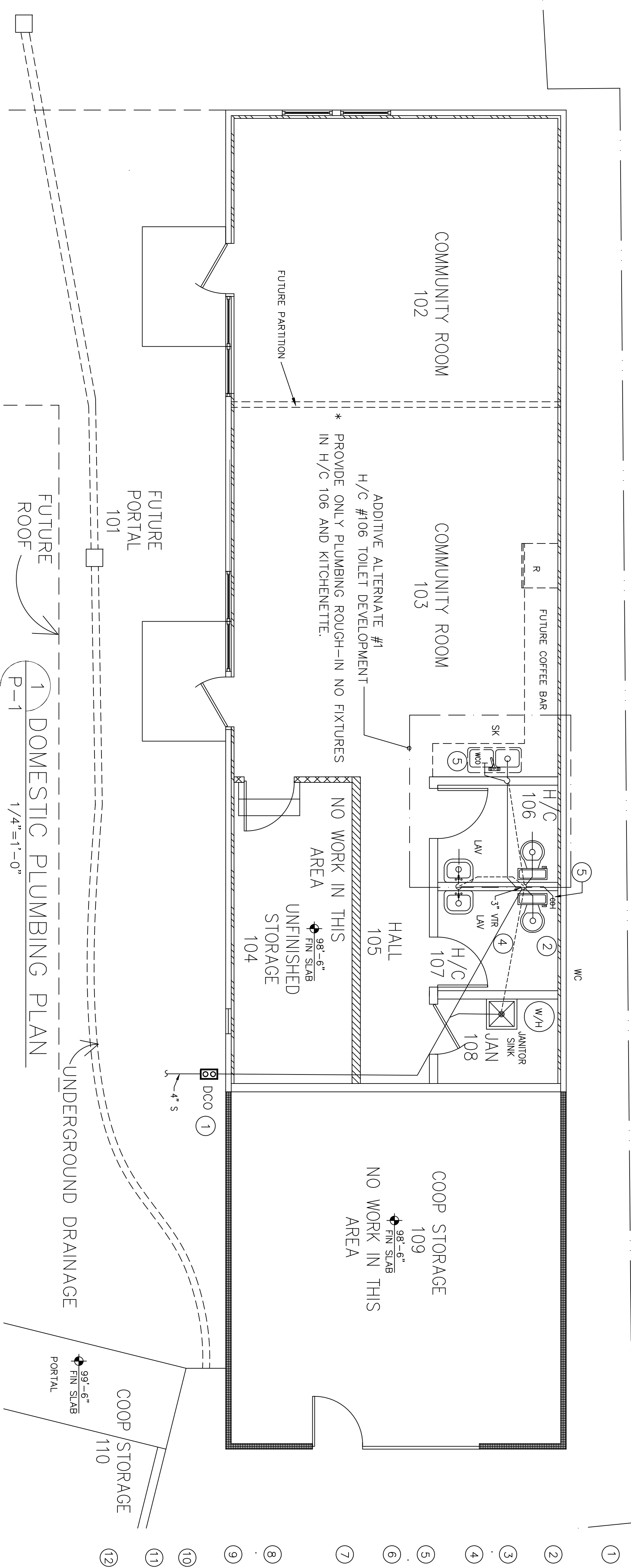
ROUTE INSULATED HOT AND COLD WATER PIPING WITHIN SPACE ABOVE CEILING LEVEL. SUSPEND FROM STRUCTURAL PER CURRENT CODE REQUIREMENTS. TYPICAL FOR ALL PIPING INDICATED ON DRAWINGS. PROVIDE AND INSTALL WATER HAMMER ARRESTERS (WHA) AT THE END OF ALL PIPING RUNS.

OF ALL PIPING RUNS.

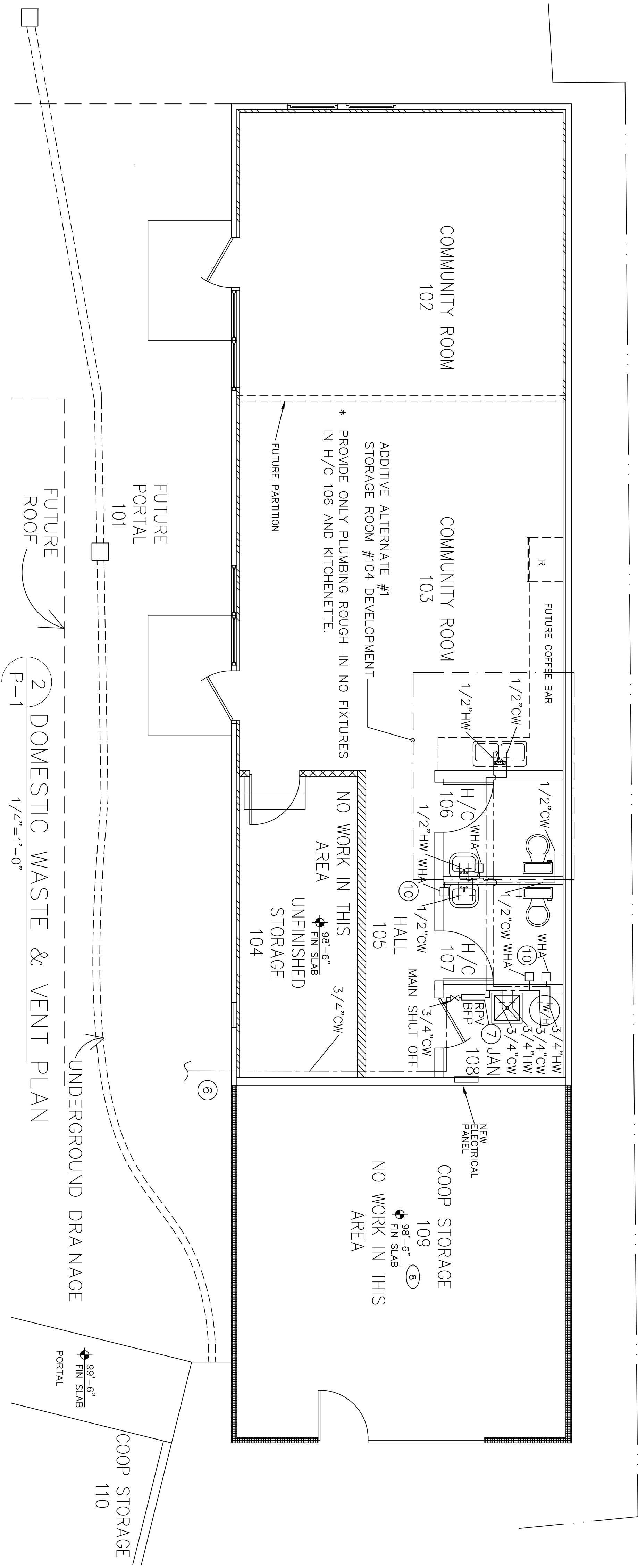
PROVIDE AND INSTALL WATER HEATER ABOVE JANITOR'S SINK.
SIMILAR TO "WATER HEATER DETAIL" ON THIS SHEET.
PROVIDE AND INSTALL BALL VALVES TO ISOLATE WATER IN P

PROVIDE AND INSTALL BALL VALVES TO ISOLATE WATER IN PIPING.

TO HOSE BIBB. PROVIDE AND INSTALL ACCESS PANEL (AP) IN WALL TO GAIN ACCESS TO HOSE BIBB COMPONENTS. ACCESS PANEL TO BE MINIMUM 18 IN. X 18 IN. COORDINATE WITH ARCHITECT FOR MOUNTING HEIGHTS AND EXACT LOCATION OF PANELS.



1) DOMESTIC PLUMBING PLAN



2) DOMESTIC WASTE & VENT PLAN

SEPTIC USAGE PER BUILDING PER DAY

	COOP BUILDING	SQ. FT.	OCC. #	TABLE 20.1: FLOW RATES	
	DELI	489	1/100 5	40/100 SQ. FT.	200 GPD
	STORAGE	276	1/200 1		
	OFFICE	1/100 1	20/CHLORINE / HR		60 GPD
	STORE	1690	1/60 28	10 / 100 SQ. FT.	188 GPD
	PRETZELS	150			
	PAID ESTIMOS		1		200 GPD
	TOTAL	2669	35		629 GPD

DIXON STORE		TABLE 201.1 FLOW RATES	
	SQ. FT.	OCC.	#
STORAGE	251	1/2300	1
OFFICE	100	1/100	1
STAIR RESTROOMS	988	1/60	16
TOTAL	1339		35
			360 GPD

		TABLE 201.1 FLOW RATES		
LIBRARY	SQ. FT.	OCC.	#	
OFFICE	400	1/100	4	20/EMPLOYEE / HR
BOOK FLOOR	2,800	1/60	38	10 / 100 SQ FT
PLANT RESTROOMS				400 GPD
TOTAL	3600		35	710 GPD

NEW COMM CNTR	SQ. FT	OCC.	#	TABLE 201.1 FLOW RATES	
COMM GATHERING	750	1/16	47	5 PER PERSON	235 GPD
TOTAL	750		35		235 GPD

PLUMBING PLANS

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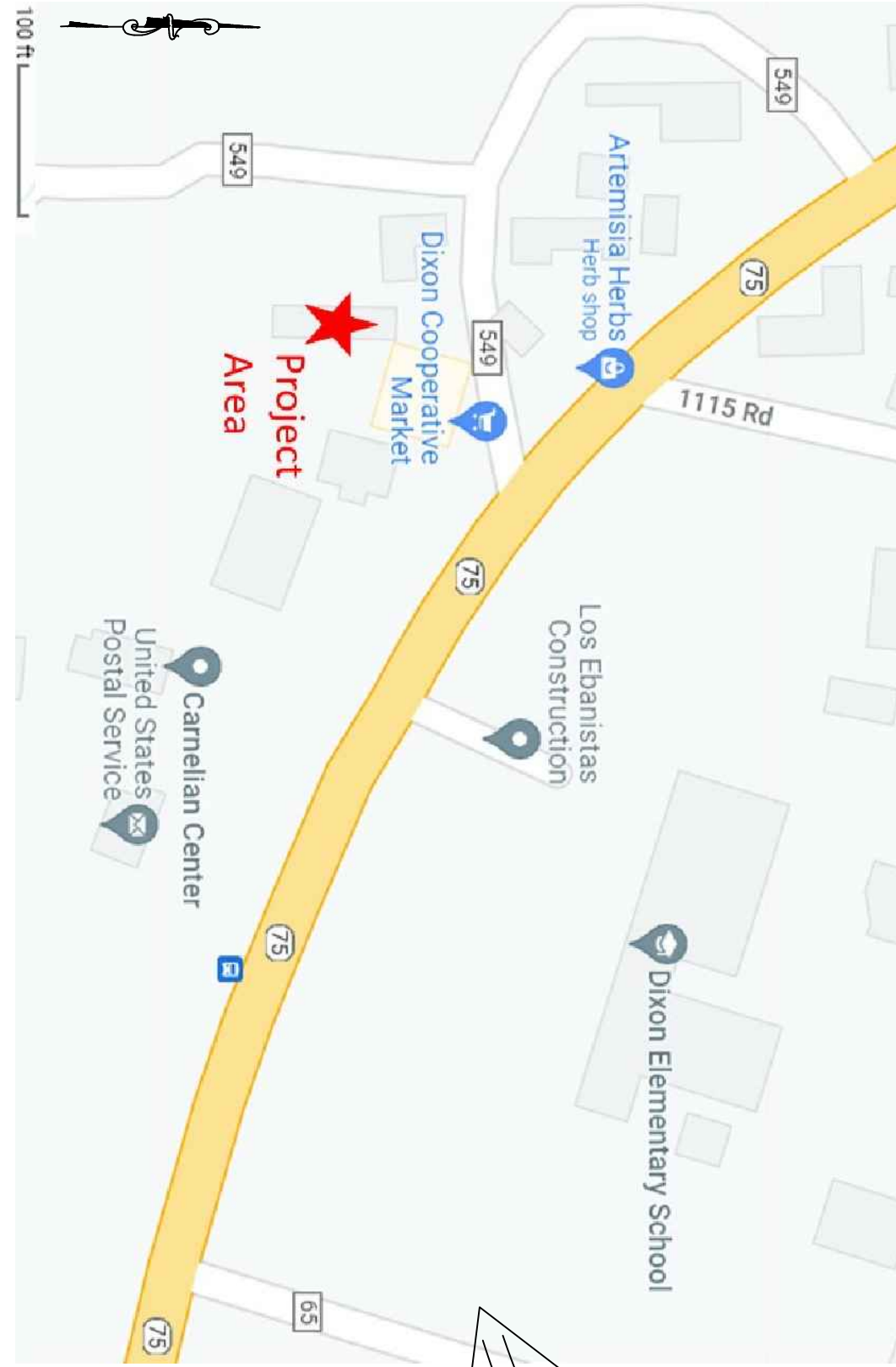
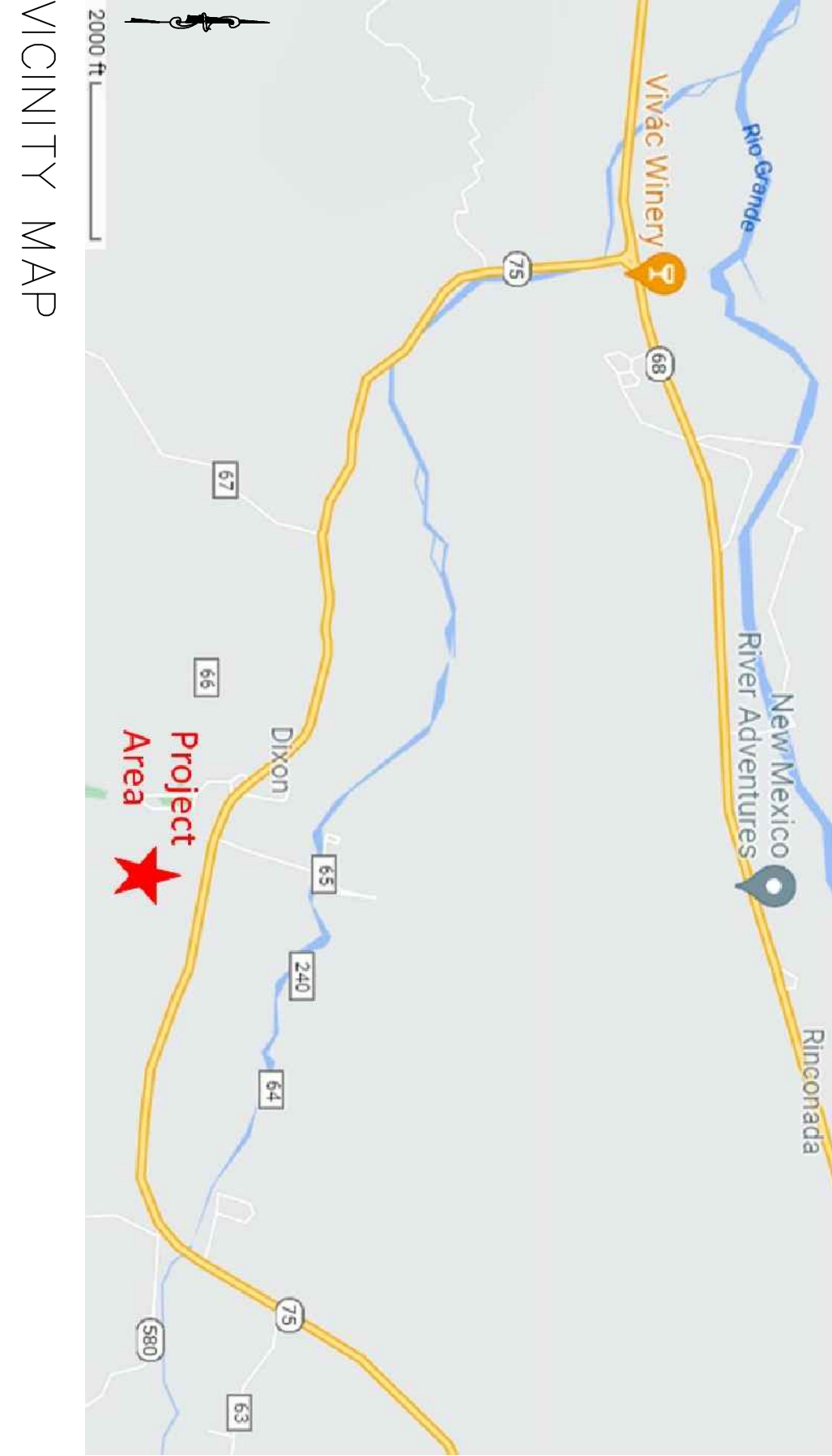
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SHEET NO:

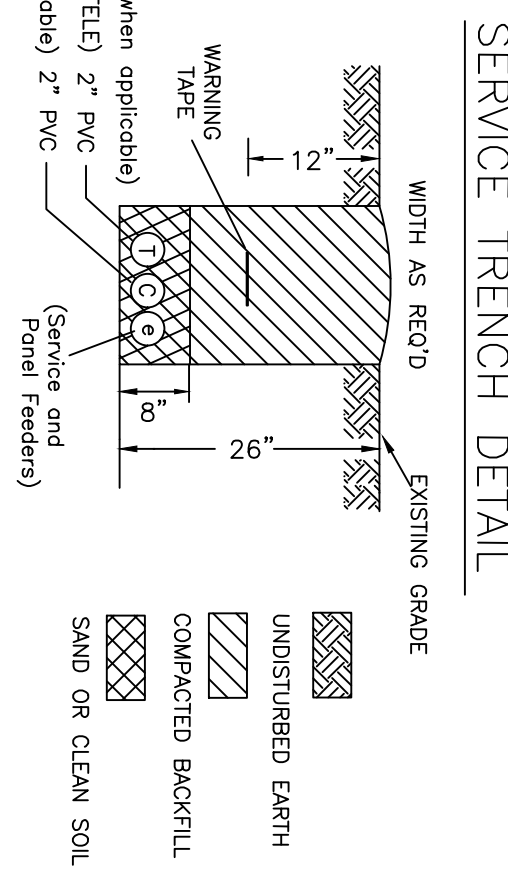
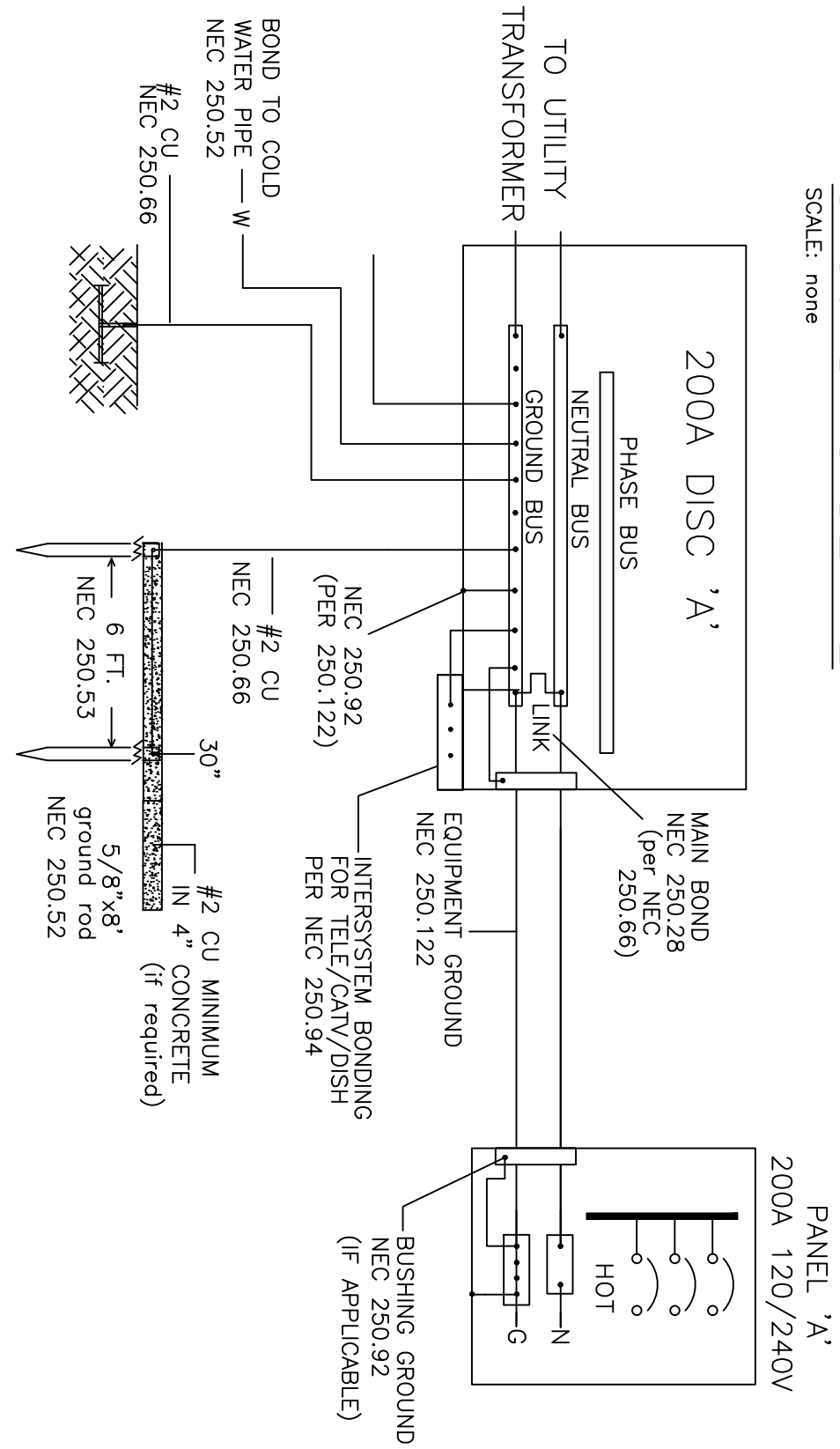
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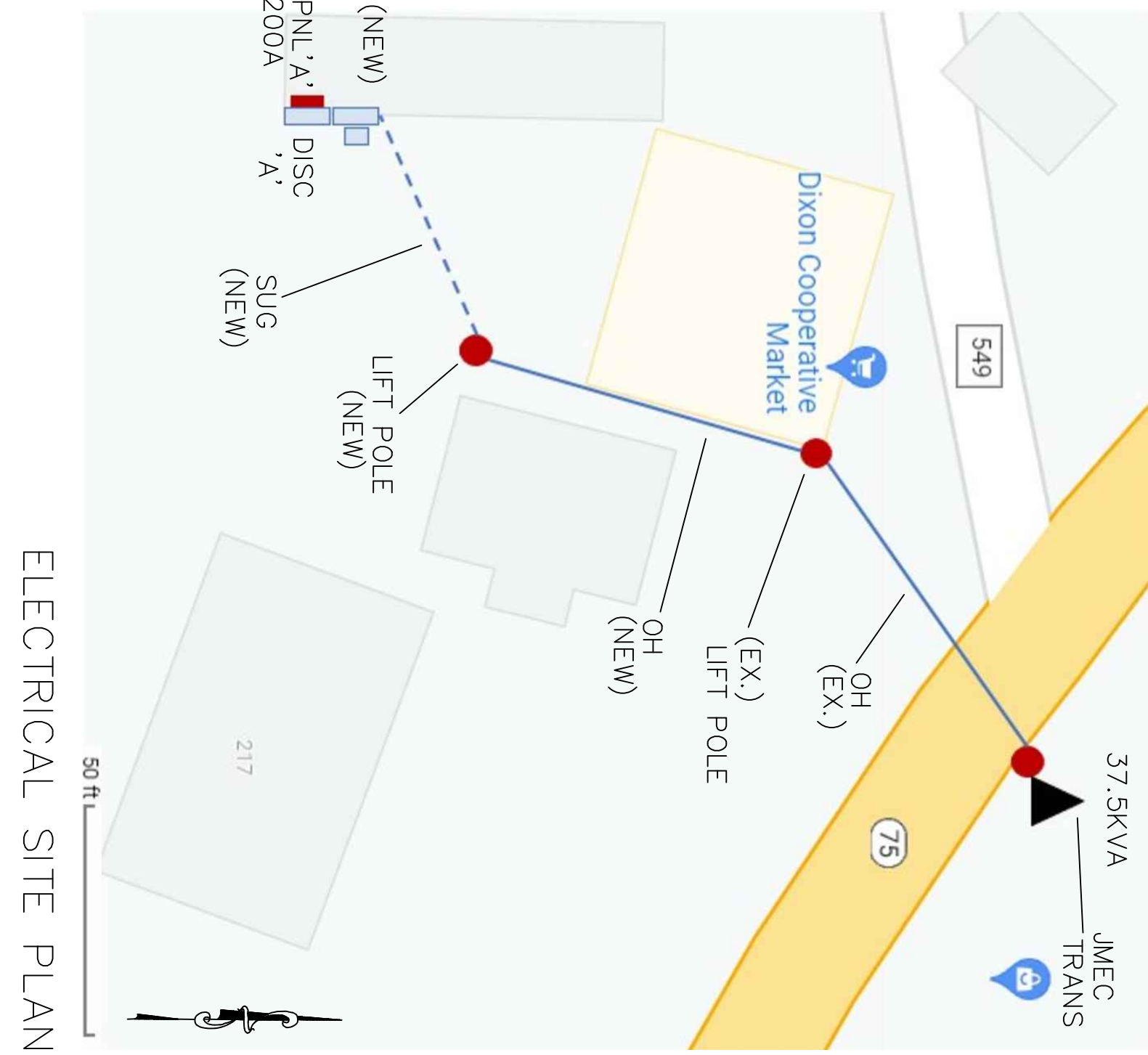
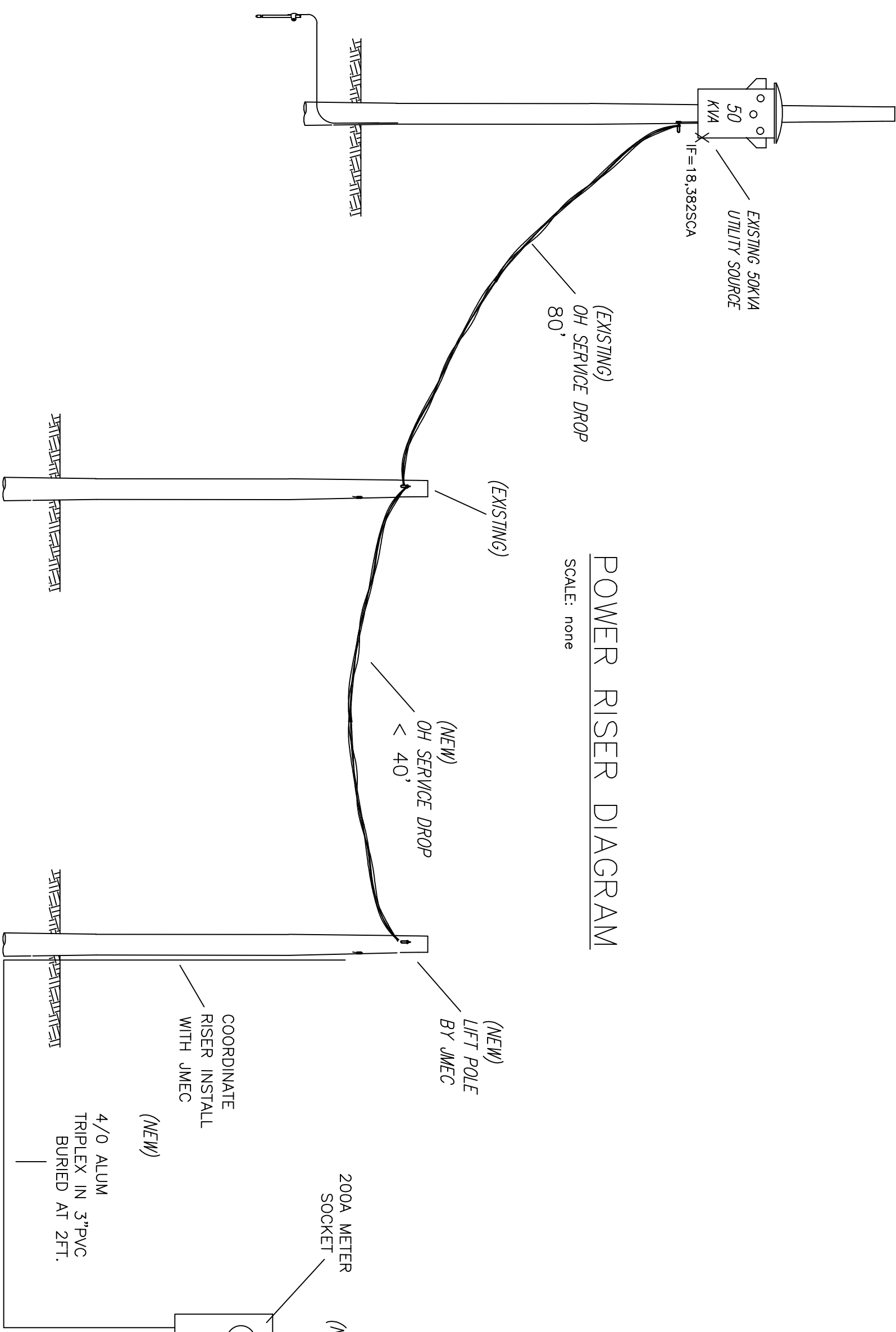
- ELECTRICAL SPECS:**
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN IN THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE MECHANICAL DRAWINGS AND FIELD CONDITIONS PRIOR TO ROUGH-IN.
 - THE CONDUIT RUNS AS SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS AND ROUTING SHALL BE PER EXISTING FIELD CONDITIONS.
 - ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL DRAWINGS TO AVOID LOCATION CONFLICTS. VERIFY EXACT REQUIREMENTS WITH MECHANICAL PRINTS.
 - ALL FINAL CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE PERFORMED USING WEATHER-PROOF FLEXIBLE METALLIC CONDUIT.
 - EXTERIOR WIRE INSTALLED IN CONDUIT SHALL BE WET TYPE PER 2020 NEC ARTICLES 300.5(B) AND 300.9.
 - PROVIDE PULL BOXES AND JUNCTION BOXES WHERE INDICATED OR REQUIRED. INSTALLATION PER NEC 2020 ARTICLE 314.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO WALLS, CEILING, ETC. IN A PROFESSIONAL MANNER. SEAL ALL WALL OR CEILING OPENING WITH MATCHING MATERIAL. PROVIDE PITCH PAWS WHERE CONDUITS PENETRATE EXISTING ROOF FOR ARCHITECTURAL APPROVAL.
 - ALL WIRE SHALL BE TYPE THHN/THWN, SOLID, ANNEALED COPPER MINIMUM SIZE #14 FOR CONTROLS AND #12 FOR LIGHTING AND POWER CIRCUIT UP TO SIZE #10 AWG (#8 AND LARGER SHALL BE CONCENTRIC STRANDED) 75 DEGREE C, (67 DEGREES F) CONDUCTIVITY.
 - INSTALL ALL EQUIPMENT GROUNDING CONDUCTOR IN ALL FEEDER CONDUITS. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL PULLBOXES, DISCONNECT SWITCHES, PANEL BOARDS, ETC.
 - ALL CIRCUITS SHALL CONTAIN A DEDICATED NEUTRAL. ELSE WIRE IN ACCORDANCE TO NEC 2020 ARTICLE 210.4.
 - EXTERIOR WIRING OR UNDERGROUND FEEDER CABLES FOR LIGHTS, MOTORS, PUMPS, ETC., SHALL COMPLY WITH NEC 2020 ARTICLES 300.3 (B) & 310.8 (C).
 - ALL NEW MATERIAL SHALL HAVE A UL LABEL OR AN NRTL APPROVED EQUIPMENT LABEL.
 - VERIFY EXACT RTR/ALWC ELECTRICAL REQUIREMENTS & LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
 - VERIFY THE LOCATION OF ALL ELECTRICAL EQUIPMENT WITH ARCHITECT PRIOR TO ROUGH-IN. VERIFY EXACT EQUIPMENT ELECTRICAL REQUIREMENTS WITH VENDOR OR PRODUCT INFORMATION.
 - ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN NOT HAND WRITTEN. PANEL DIRECTORIES SHALL INCLUDE SPECIFIC EQUIPMENT INFORMATION PER NEC 2020 ARTICLE 110.12.
 - COORDINATE THE INSTALLATION OF NEW SERVICE ENTRANCE LOCATIONS, REQUIREMENTS, ETC. WITH THE JMEC, MAINSTREAM & CABLE, ETC. PRIOR TO ROUGH-IN.
 - COORDINATE INSTALLATION OF MECHANICAL SYSTEM WITH MECHANICAL CONTRACTOR & ARCHITECT PRIOR TO ROUGH-IN.

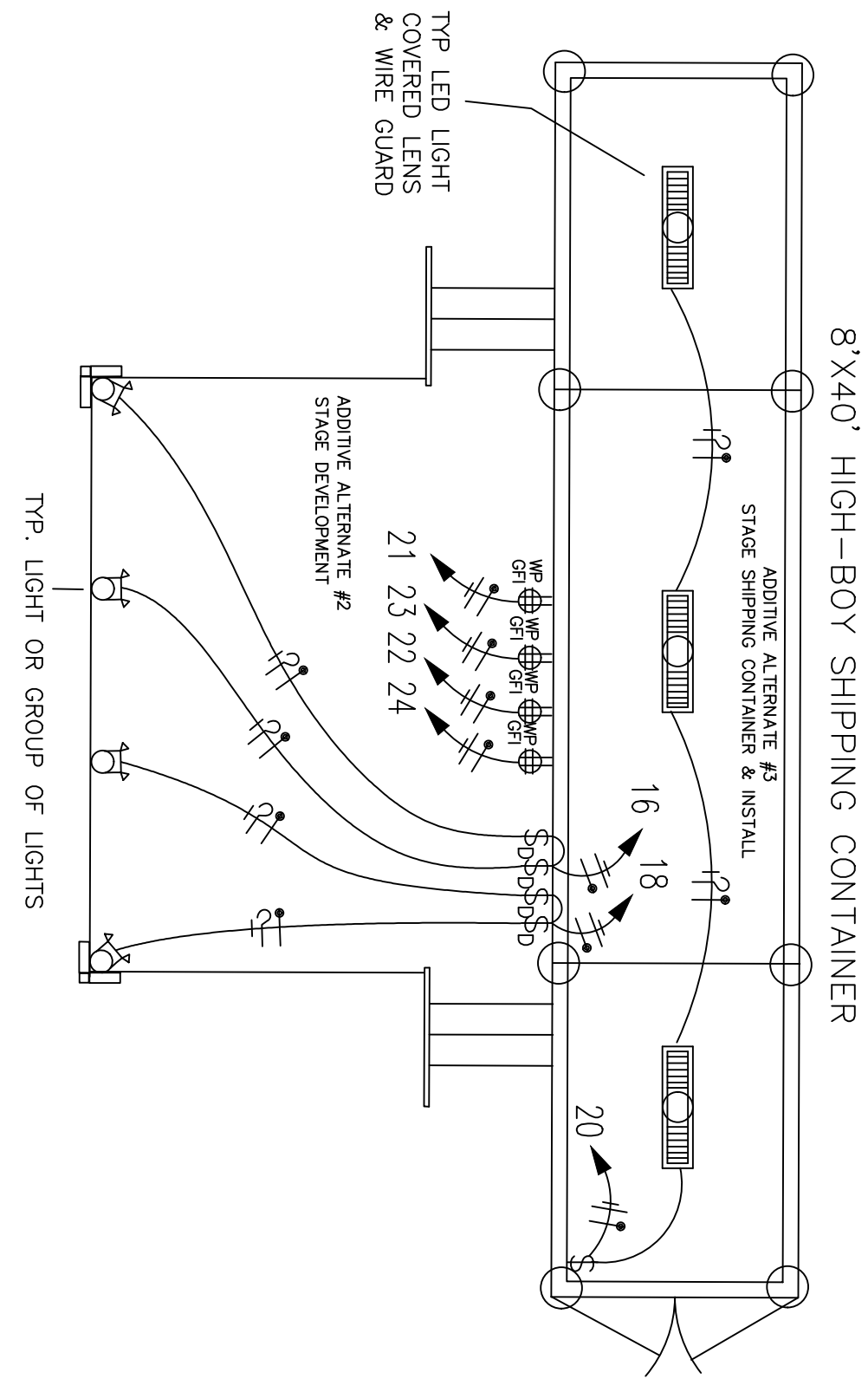


FAULT CURRENT CALCULATIONS:									
FACTOR	= 2 * L * If		LENGTH	L1	L2	L3	L4		
	C FACT * V * #COND								
MFACTOR	= 1		#COND	1	1	1	1	1	
	1 + F FACTOR								
	TRANS	Z	AMPS	TR SCA	C	F	M	CURRENT	LOCATION
	50	1.7%	208	18382	9091	1.011	0.497	9,141	LIFT POLE 1 200A
				9141	9091	0.419	0.705	6,442	LIFT POLE 2 200A
				6442	11174	0.384	0.722	4,653	METER 200A
				4653	12843	0.015	0.985	4,584	DISC 'A' 200A
				4584	12843	0.015	0.985	4,517	PANEL 'A' 200A



- NOTES:
- IN SOME CASES WHERE OTHER UTILITIES ARE INVOLVED, GREATER TRENCH DEPTHS MAY BE REQUIRED.
 - ENCASE IN CONCRETE IF MANDATED. DEPTH ARE NOT MET.
 - INSTALL 1/4" PULL ROPE IN ALL CONDUITS.
 - VERIFY EXACT RTR/ALWC ELECTRICAL REQUIREMENTS, CONDUIT SIZE & DEPTH WITH OWNER, JMEC, & ARCHITECT PRIOR TO INSTALL.
 - WHEN APPLICABLE, SAME REQUIREMENT FOR TILE & CABLE.
 - CALL FOR UTILITY LOCATES PRIOR TO DIGGING OR EXCAVATING.
 - CALL FOR PRIVATELY OWNED UTILITY LOCATES OR CONFIRM WITH OWNER PRIOR TO DIGGING OR EXCAVATING.

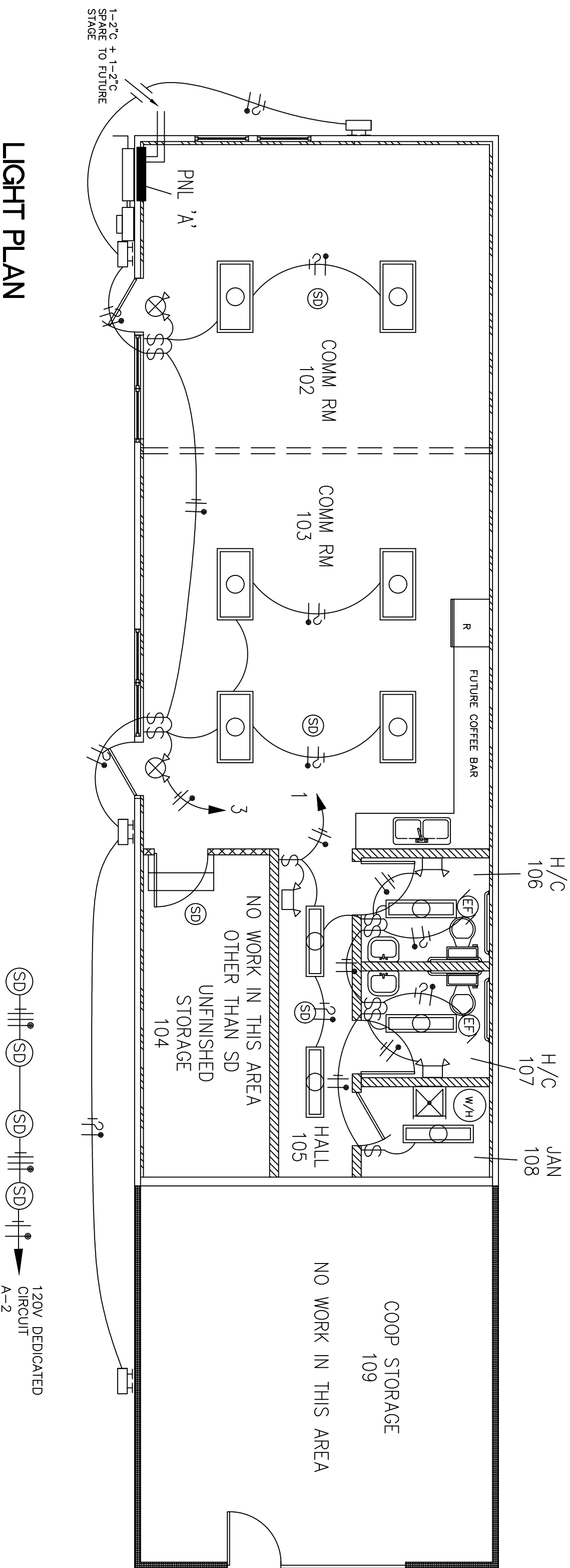




ALTERNATE QUOTE (FUTURE INSTALL):

- PROVIDE A LIGHTING PACKAGE ALLOWANCE ON PER LIGHT FIXTURE BASIS;
- LIGHT TYPE & MODEL TO BE CHOSEN BY ARCHITECT & OWNER;

LIGHT LEGEND ALL LIGHT TYPES LED	
	2X4 FT. SURFACE
	1X4 FT. SURFACE
	EXTERIOR SURFACE WALL LIGHT
	EMERGENCY EXIT LIGHT FIXTURE
	EMERGENCY LIGHTING FIXTURE
	SERVICE ENTRANCE METER ELECTRICAL PANEL 200A

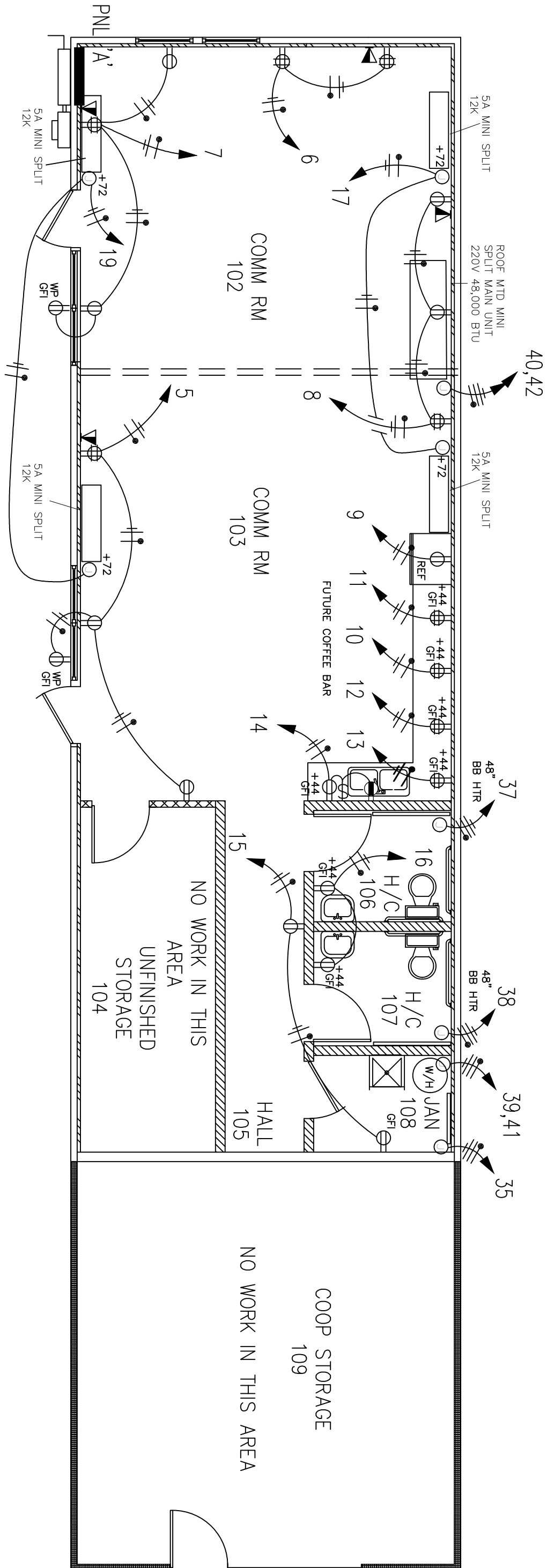


LIGHT PLAN

SCALE: 3/16"=1'-0"

LED LIGHT NOTES:

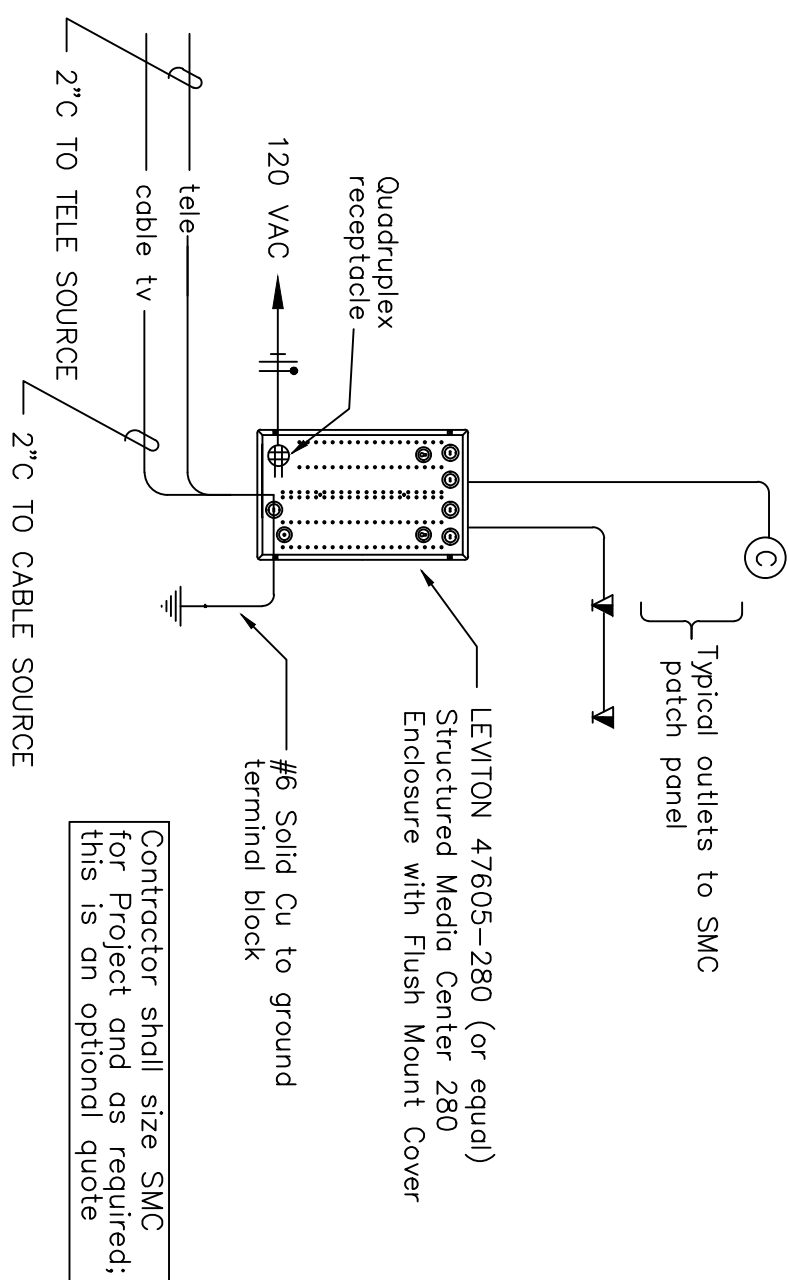
- PROVIDE A LIGHTING PACKAGE ALLOWANCE ON PER LIGHT FIXTURE BASIS;
- LIGHT TYPE & MODEL TO BE CHOSEN BY ARCHITECT & OWNER;
- CONFIRM LED KELVIN COLOR WITH ARCHITECT & OWNER; (3500 IS FOR OFFICE AREAS)
- PROVIDE ALTERNATE COST FOR LED DIMMING CAPABILITY (REQUIRES DIMMER SWITCH & DRIVER/CONTROL CIRCUIT TO EACH LIGHT)



ELECTRICAL PLAN

SCALE: 3/16"=1'-0"

LEGEND	
	120V DUPLEX M.H. +14"
	GROUND FAULT CIRC. INT. M.H. +14"
	WEATHER PROOF GFI M.H. +14"
	220V RECEPTACLE M.H. +14"
	PHONE OUTLET, M.H. +14"
	TELEPHONE PANEL
	ELEC W/H 30A-2P MAX
	BASBOARD HEATER, 20A, 120V <1500 WATTS
	THERMOSTAT M.H. +14"
	JUNCTION BOX
	SERVICE ENTRANCE METER
	ELECTRICAL PANEL, 200A
	200A DISC



OPTIONAL TELECOM POWER RISER

SCALE: none

PANEL BOARD SCHEDULE										Panel: "A"		
OKI No.	Description	VA	Brk / pole	Frn	Frn	Brk / pole	VA	Description	OKI No.			
1	BATHROOMS & HALL LIGHTS	400	201	400	960	201	360	1000	2			
2	COFFEE BAR DIED #1	200	201	200	200	201	200	SMOKE DETECTORS	4			
3	ROOM 102 EAST RECEPTS	720	201	1440	201	720	720	ROOM 102 SOUTH RECEPTS	6			
4	ROOM 102 WEST RECEPTS	720	201	1440	201	720	720	ROOM 102 NORTH RECEPTS	8			
5	COFFEE BAR DIED #2	1000	201	2000	2000	201	1000	COFFEE BAR DIED #4	9			
6	COFFEE BAR DIED #3	1000	201	2000	2000	201	1000	COFFEE BAR DIED #5	11			
7	COFFEE BAR DIED #6	1000	201	2000	2000	201	1000	COFFEE BAR DIED #4 & DISPOSAL	12			
8	JAN 108 & HALL RECEPT	720	201	1720	201	1000	1000	STAGE LIGHTS 1 (FUTURE)	16			
9	WEST FAN UNITS	780	201	1780	201	1000	1000	STAGE LIGHTS 2 (FUTURE)	18			
10	STAGE LIGHTS 1 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 3 (FUTURE)	20			
11	STAGE LIGHTS 2 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 4 (FUTURE)	22			
12	STAGE LIGHTS 3 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 5 (FUTURE)	24			
13	STAGE LIGHTS 4 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 6 (FUTURE)	26			
14	STAGE LIGHTS 5 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 7 (FUTURE)	28			
15	STAGE LIGHTS 6 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 8 (FUTURE)	30			
16	STAGE LIGHTS 7 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 9 (FUTURE)	32			
17	STAGE LIGHTS 8 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 10 (FUTURE)	34			
18	STAGE LIGHTS 9 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 11 (FUTURE)	36			
19	STAGE LIGHTS 10 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 12 (FUTURE)	38			
20	STAGE LIGHTS 11 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 13 (FUTURE)	40			
21	STAGE LIGHTS 12 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 14 (FUTURE)	42			
22	STAGE LIGHTS 13 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 15 (FUTURE)	44			
23	STAGE LIGHTS 14 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 16 (FUTURE)	46			
24	STAGE LIGHTS 15 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 17 (FUTURE)	48			
25	STAGE LIGHTS 16 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 18 (FUTURE)	50			
26	STAGE LIGHTS 17 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 19 (FUTURE)	52			
27	STAGE LIGHTS 18 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 20 (FUTURE)	54			
28	STAGE LIGHTS 19 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 21 (FUTURE)	56			
29	STAGE LIGHTS 20 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 22 (FUTURE)	58			
30	STAGE LIGHTS 21 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 23 (FUTURE)	60			
31	STAGE LIGHTS 22 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 24 (FUTURE)	62			
32	STAGE LIGHTS 23 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 25 (FUTURE)	64			
33	STAGE LIGHTS 24 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 26 (FUTURE)	66			
34	STAGE LIGHTS 25 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 27 (FUTURE)	68			
35	STAGE LIGHTS 26 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 28 (FUTURE)	70			
36	STAGE LIGHTS 27 (FUTURE)	1000	201	1000	2000	201	1000	STAGE LIGHTS 29 (FUTURE)	72			
37	BATHROOM 100 BB HEATER	1200	201	2400	2000	201	2400	BATHROOM 100 BB HEATER	38			
38	WATER HEATER	2400	201	4800	2000	201	4800	A/C UNIT	40			
41		15680	VA	66660		402	20200	VA	42			
Total Connected Load per phase												
				15680			77090					
Total Connected Load												
35640												
Amps on max phase												
150												
Voltage: 120/240V 1 Phase												
Main: MLO												
Rating: 200A												
Panel: MALL												
Fid from: DISC A 200A												
Grid Bus: Yes												